

PROPOSED  
**RESIDENTIAL CARE FACILITY**  
11-19 Frenchmans Road, Randwick, NSW

Drawing List

DWG. No.	Drawing Title	Scale	Size
DA00	- Cover Page	NTS	A1
DA01	- Site Plan	1:200	A1
DA02	- Site Analysis	1:200	A1
DA02a	- Site Analysis - Locality Plan	NTS	A1
DA02b	- View Analysis - Site Location	NTS	A1
DA03	- Lower Basement Floor Plan	1:200	A1
DA04	- Basement Floor Plan	1:200	A1
DA05	- Ground Floor Plan	1:200	A1
DA06	- First Floor Plan	1:200	A1
DA07	- Second Floor Plan	1:200	A1
DA08	- Third Floor Plan	1:200	A1
DA09	- Roof Plan	1:200	A1
DA10	- Sections (A,B & C)	1:200	A1
DA11	- Sections (D, E & F)	1:200	A1
DA12	- Section (G & H)	1:200	A1
DA13	- Elevations (North, East, South & West)	1:200	A1
DA13a	- Sections @ Boundary	1:100	A1
DA14	- Street Elevations Proposed	1:200	A1
DA15	- Street Elevation @ Frenchmans Road - Photomontage	NTS	A1
DA16	- Street Elevation @ McLennan Avenue - Photomontage	NTS	A1
DA17	- Shadow Diagrams Existing & Proposed (21 June 8am. & 12 pm.)	1:500	A1
DA17a	- Shadow Diagrams Existing & Proposed (21 June 9am. & 3 pm.)	1:500	A1
DA18	- Shadow diagrams Existing & Proposed (21 June 4 pm.)	1:500	A1
DA18a	- Direct Sun Analysis(21 June 8 am.)	NTS	A1
DA18b	- Direct Sun Analysis(21 June 9 am.)	NTS	A1
DA18c	- Direct Sun Analysis(21 June 12 pm.)	NTS	A1
DA18d	- Direct Sun Analysis(21 June 3 pm.)	NTS	A1
DA18e	- Direct Sun Analysis(21 June 4 pm.)	NTS	A1
DA18f	- 3D Image Showing Built form penetrating 12m Height	NTS	A1
DA19	- Solar Access Diagrams	NTS	A1
DA19a	- Solar Access Diagrams	NTS	A1
DA19b	- Solar Access Diagrams	NTS	A1
DA19c	- Solar Access Diagrams	NTS	A1
DA20	- Gross Floor Area Diagram - Ground Floor Plan	1:200	A1
DA21	- Gross Floor Area Diagram - First Floor Plan	1:200	A1
DA22	- Gross Floor Area Diagram - Second Floor Plan	1:200	A1
DA23	- Gross Floor Area Diagram - Third Floor Plan	1:200	A1
DA23a	- Gross Floor Area Diagram - Basement Floor Plan	1:200	A1
DA24	- Demolition Plan	1:200	A1
DA24a	- Landscape and Deep Soil Areas	NTS	A1



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**DEVELOPMENT APPLICATION RE-ISSUE**  
01.06.2021

2017 DA00





## DEVELOPMENT STATISTIC

SITE AREA		2,709.7 m <sup>2</sup>	
	BCA FLOOR AREA	SEPP 2004 GROSS FLOOR AREA (VERTICAL VILLAGE)	
LOWER BASEMENT.FL.	521.6 m <sup>2</sup>	-	
BASEMENT.FL.	1,557.2 m <sup>2</sup>	83.0 m <sup>2</sup>	
GROUND FL.	1,233.1 m <sup>2</sup>	737.3 m <sup>2</sup>	
FIRST FL.	1,300.6 m <sup>2</sup>	1,151.1 m <sup>2</sup>	
SECOND FL.	1,157.3 m <sup>2</sup>	1,012.0 m <sup>2</sup>	
THIRD FL.	593.5 m <sup>2</sup>	558.0 m <sup>2</sup>	
TOTAL	6,363.3 m <sup>2</sup>	3,458.4 m <sup>2</sup>	
FSR		1.276 : 1	
CARPARKING / AMBULANCE		19+1= 20 spaces	
LANDSCAPE AREA		1,157.2 m <sup>2</sup>	
LANDSCAPE AREA PER BED		13.46m <sup>2</sup>	
RESIDENT ACCOMMODATION			
	1 BED	2 BED	TOTAL
GROUND FL.	16	0	16
FIRST FL.	24	4 x 2	32
SECOND FL.	21	3 x 2	27
THIRD FL.	11	0	11
TOTAL NUMBER OF THIRD FL. ILUs			= 2
TOTAL NUMBER OF BEDS			= 86
TOTAL NUMBER OF ROOMS			77 + 2 = 79

## LEGEND

	PROPOSED RCF
	BOUNDARY
	SOFT LANDSCAPE
	HARD LANDSCAPE
	FENCE TYPE 1
	FENCE TYPE 2
	+ ex RL.76.80 EXISTING LEVEL RL.
	+ [RL.76.80] NEW FINISHED LEVEL RL.
	+ [TOW RL.] PROPOSED TOP OF WALL LEVEL
	--- LOWER GROUND FLOOR
	--- BASEMENT FLOOR
	--- FIRST FLOOR
	--- SECOND FLOOR
	--- THIRD FLOOR
	--- PROPOSED ROADS AND DRIVEWAYS
	EXISTING TREES TO REMAIN
	EXISTING TREES TO BE REMOVED
	NEW TREES
<b>F1</b>	1800H POWDER COATED STEEL BLADE SECURITY FENCE ON MASONRY WALL RENDERED AND PAINTED WITH 400 X400 X1950H MASONRY COLUMN POST RENDERED AND PAINTED FINISH + EXISTING FENCE
<b>F2</b>	1800H COLORBOND STEEL FENCING & RETAINING WALL + EXISTING FENCE
<b>F3</b>	1800H COLORBOND STEEL FENCING + EXISTING FENCE
NOTE: - ALL EXISTING FENCING EXCEPT FOR FRENCHMANS ROAD AND Mc LENNAN AVENUE BOUNDARIES TO REMAIN. NEW FENCING TO BE BUILT INSIDE THE BOUNDARY ADJACENT	

## BASIX and Thermal Comfort Inclusions SummitCare Randwick (11-19 Frenchmans Road, Randwick)

Floors Concrete between levels, no insulation required  
Walls External walls: Lightweight Cladding with R2.0 insulation (insulation only value)  
External colour: Medium (0.475<SA<0.7)  
Inter-tenancy walls: Minimum 75mm Habel Power Panel to walls adjacent to neighbours and hallways, no insulation required  
Internal walls (within units): Plasterboard on studs  
Windows Glazed windows ILU 1:  
U-value: 6.70 (equal to or lower than) SHGC: 0.70 (±10%)  
Glazed windows ILU 2:  
U-value: 4.80 (equal to or lower than) SHGC: 0.58 (±10%)  
Given values are AFRC total window system values (glass and frame)  
Roof & Ceilings Metal roof with foil backed blanket (Ru1.3 and Rd1.3)  
Plasterboard ceiling with R3.0 insulation (insulation only value) to where roof is above  
External colour: Dark (SA > 0.7)  
Note: Loss of ceiling insulation due to penetrations from down lights have been accounted for in accordance with BCA Technical Note 2 and Sealed LED down lights at a maximum of one every 2.5m2  
Floor coverings Tiles throughout  
Hot water system Central gas-fired boiler with R1.0 (~38mm) insulation to ring main and supply risers  
Fixtures Showerheads: 4.0 star medium flow (>6.0L but <=7.5L/min)  
Toilets: 4.0 star  
Kitchen taps: 5.0 star  
Bathroom vanity taps: 5.0 star  
Cooling systems Ceiling fans + single phase air conditioning to living areas and bedrooms: Min. 2 star  
Heating systems Ceiling fans + single phase air conditioning to living areas and bedrooms: Min. 2 star  
Appliances Dish washer: 3.0 star water & 4.0 star energy rating  
Common clothes washer: 4.0 star water & 3.5 star energy rating  
Common clothes dryer: 2.0 star energy rating  
Refrigerator: 3.5 star energy rating  
Ventilation in units Kitchen- Individual fan, externally ducted to façade, manual on/off switch  
Bathrooms - Individual fan, externally ducted to façade, manual on/off switch  
Laundry- Individual fan, externally ducted to façade, manual on/off switch  
Other Electric cooktop & electric oven

B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

Project  
SUMMIT CARE  
11-19 Frenchmans Road, Randwick

Drawing  
SITE PLAN



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Date	JAN 2019	Job No.	- Drawing
Scale	AS SHOWN		
Drawn	SS		1912/ DA01
Amendment	B		

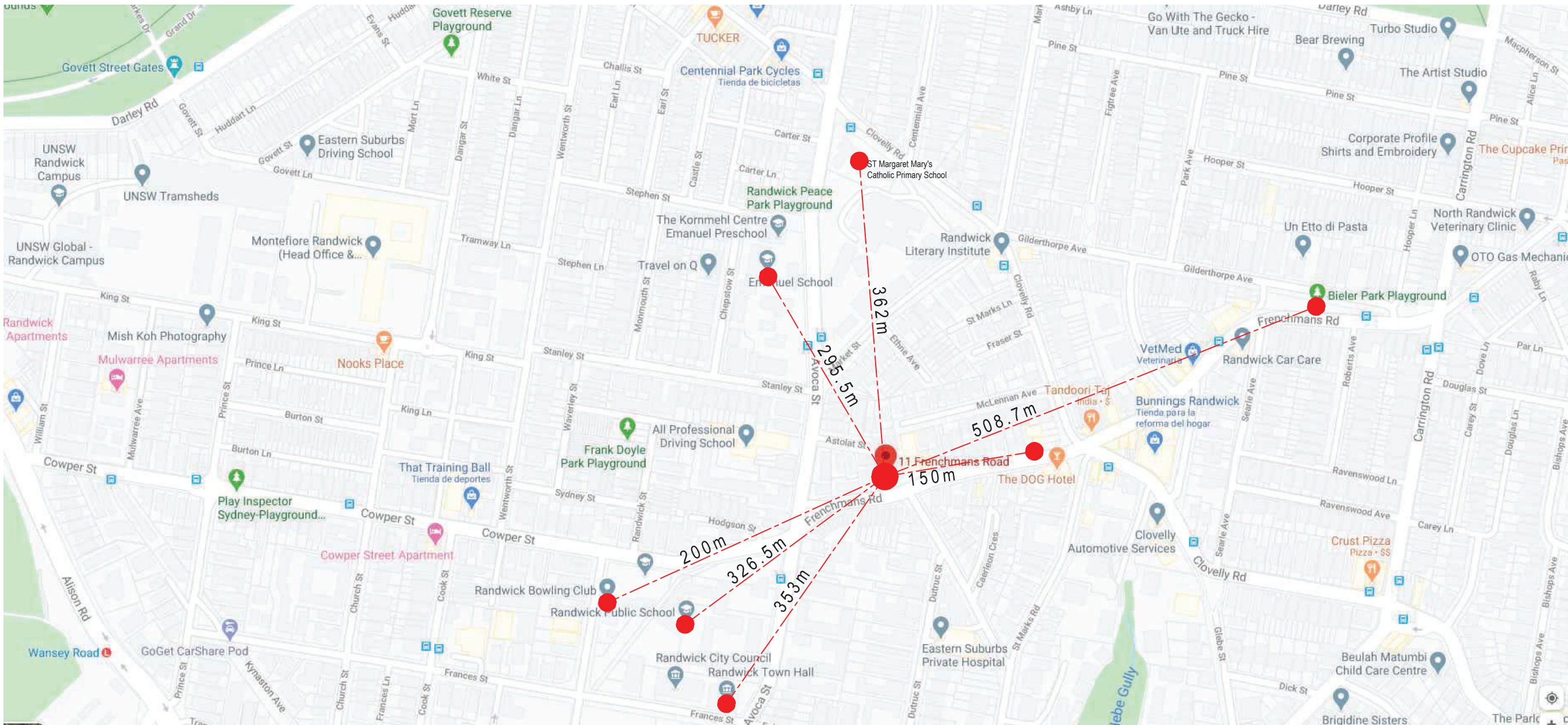
0005175370 07 Jul 2021  
Assessor Tracey Coles  
Accreditation No. HERA10033  
Address  
11-19 Frenchmans Road,  
Randwick, NSW, 2031



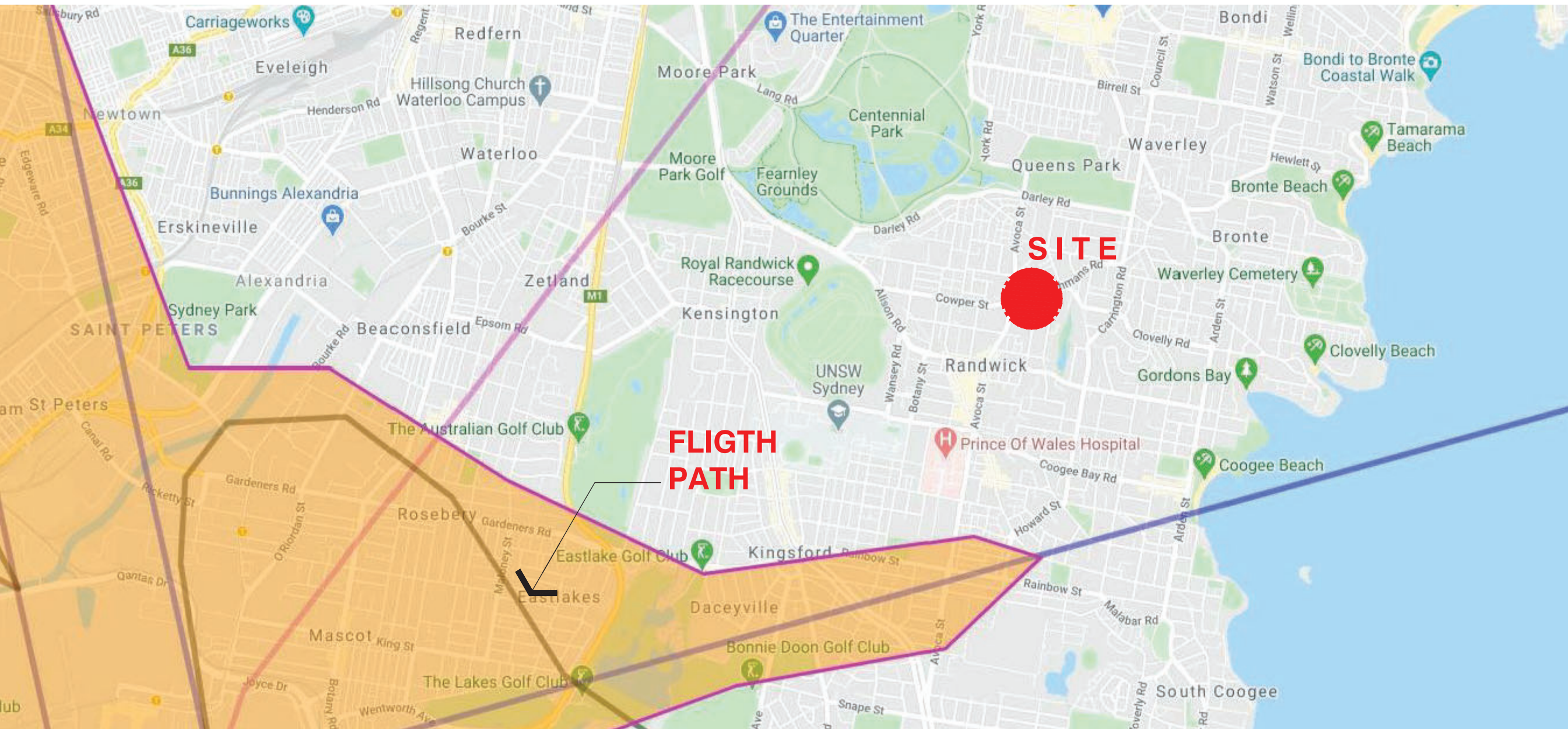




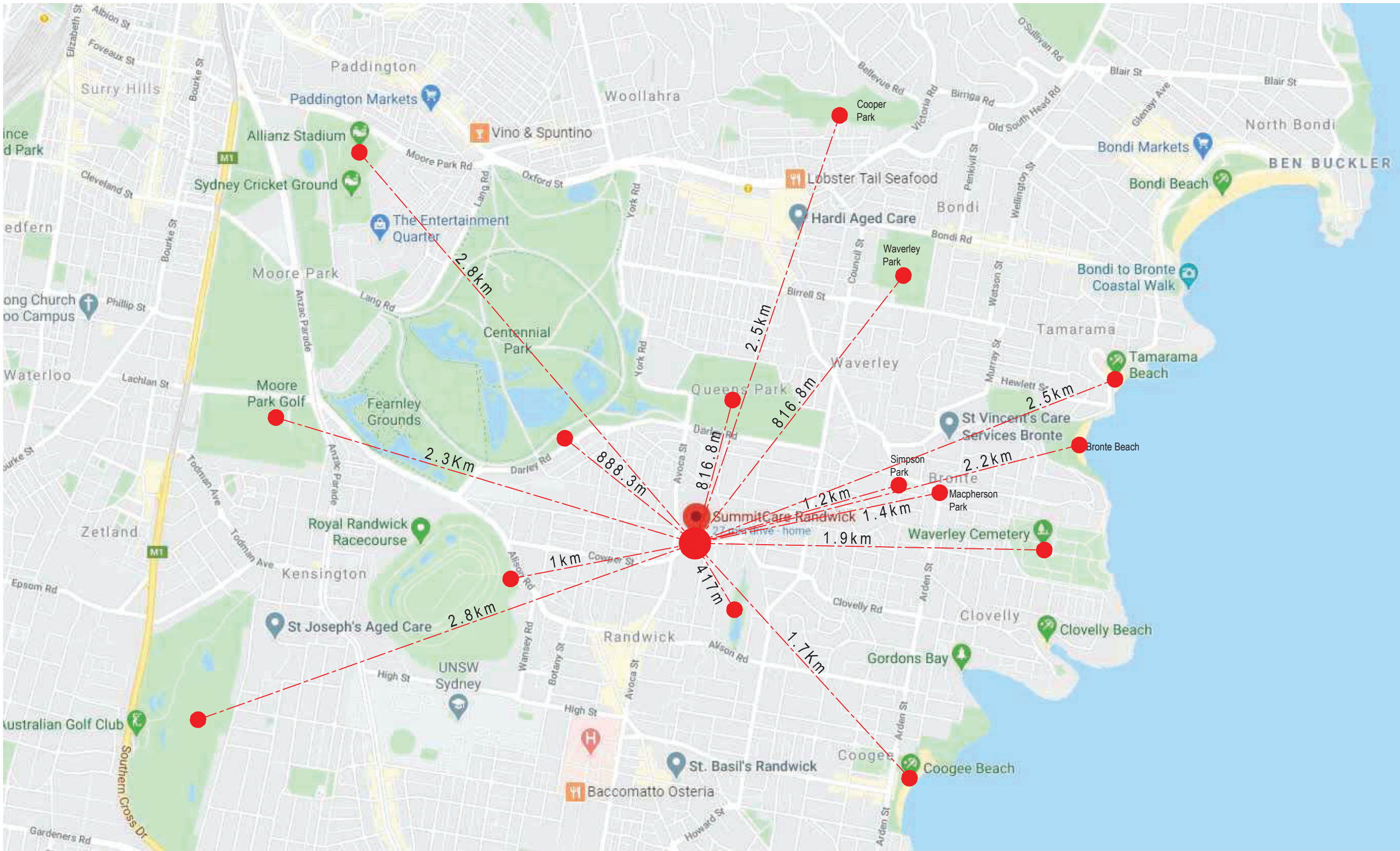




DIRECTIONS & DISTANCES TO LOCAL FACILITY PLAN



FLIGHT PATH PLAN



PUBLIC OPEN SPACE PLAN



LOCATION PLAN

B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

Project  
SUMMIT CARE  
11-19 Frenchmans Road, Randwick

Drawing  
SITE ANALYSIS - LOCALITY PLAN



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	Date	JULY 2019	Job No.	Drawing
	Scale	AS SHOWN		
	Drawn	SS		
	Amendment	B		

1912 / DA02a









0005175370 07 Jul 2021  
Assessor: Tracey Cools  
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A	Development Application Issue	01.06.2021
No.	Amendment	Date

Project  
SUMMIT CARE  
11-19 Frenchmans Road, Randwick

Drawing  
VIEW ANALYSIS SITE LOCATION



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**br**  
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Date	JULY 2019	Job No.	Drawing
Scale	AS SHOWN		1912 / DA02b
Drawn			
Amendment	A		



## LEGEND

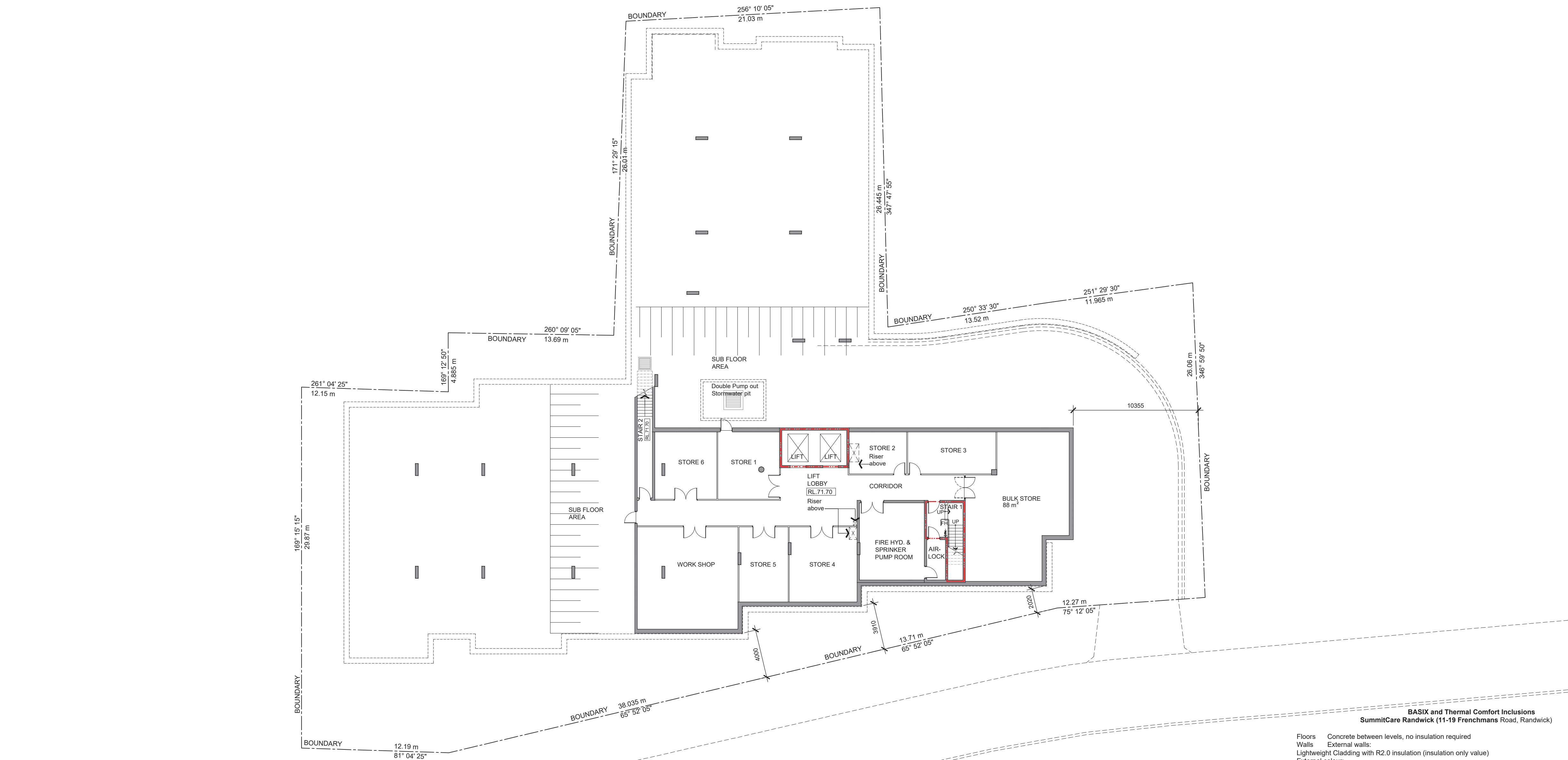
	BOUNDARY
	MASONRY WALL
	STUD WALL
	OUTLINE OF WALL ABOVE / BELOW
	ROOF OUTLINE
	NEW FENCE
	EXISTING LEVELS
	PROPOSED LEVELS
	PROPOSED DOOR
	PROPOSED WINDOW
	MOBILE BATH
	CEILING FAN
	EXISTING TREES TO REMAIN
	EXISTING TREES TO BE REMOVED
	NEW TREES

## ACOUSTIC REQUIREMENTS

	Rw 36 10.38mm laminated OR Rw 36 6/12/8 glass
	Rw 31 10mm monolithic OR Rw 34 6/12/6 glass
	Rw 27 6mm monolithic OR Rw 34 6/12/6 glass

## NCC 2019 - SECTION J REQUIREMENTS

Envelope Construction		Total System R-Value (m²K/W)	
J1.3	Roof and ceiling construction	≥ 3.70	
J1.4	Roof lights	N/A	
J1.5a	Total System external wall construction (all facades)	≥ 2.39	
J1.5b	Total System internal wall construction (between conditioned & unconditioned areas)	≥ 1.00	
J1.6a	Floor construction (above an unconditioned zone)	≥ 2.00	
J1.6b	Floor construction (concrete slab on ground)	No insulation required	
Glazing - Frame Construction (Uniform solution)		Total System SHGC	Total System SHGC
J1.5c	Total Window Frame construction	≤ 4.00	≤ 0.29



### BASIX and Thermal Comfort Inclusions SummitCare Randwick (11-19 Frenchmans Road, Randwick)

Floors Concrete between levels, no insulation required  
Walls External walls:  
Lightweight Cladding with R2.0 insulation (insulation only value)  
External colour:  
Medium (0.475<SA<0.7)  
Inter-tenancy walls:  
Minimum 75mm Hebel Power Panel to walls adjacent to neighbours and hallways, no insulation required  
Internal walls (within units):  
Plasterboard on studs  
Windows Glazed windows ILU 1:  
U-value: 6.70 (equal to or lower than) SHGC: 0.70 (±10%)  
Glazed windows ILU 2:  
U-value: 4.80 (equal to or lower than) SHGC: 0.59 (±10%)  
Given values are AFRC total window system values (glass and frame)  
Roof & Ceilings Metal roof with foil backed blanket (R1.3 and R1.3)  
Plasterboard ceiling with R3.0 insulation (insulation only value) to where roof is above  
External colour:  
Dark (SA > 0.7)  
Note: Loss of ceiling insulation due to penetrations from down lights have been accounted for in accordance with BCA Technical Note 2 and Sealed LED down lights at a maximum of one every 2.5m2  
Floor coverings Tiles throughout  
Hot water system Central gas-fired boiler with R1.0 (~38mm) insulation to ring main and supply risers  
Fixtures Showerheads: 4.0 star medium flow (>6.0L but <=7.5L/min)  
Toilets: 4.0 star  
Kitchen taps: 5.0 star  
Bathroom vanity taps: 5.0 star  
Cooling syste Ceiling fans + single phase air conditioning to living areas and bedrooms: Min. 2 star  
Heating systems Ceiling fans + single phase air conditioning to living areas and bedrooms: Min. 2 star  
Appliances Dish washer: 3.0 star water & 4.0 star energy rating  
Common clothes washer: 4.0 star water & 3.5 star energy rating  
Common clothes dryer: 2.0 star energy rating  
Refrigerator: 3.5 star energy rating  
Ventilation in units Kitchen- Individual fan, externally ducted to façade, manual on/off switch  
Bathrooms - Individual fan, externally ducted to façade, manual on/off switch  
Laundry- Individual fan, externally ducted to façade, manual on/off switch  
Other Electric cooktop & electric oven



B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

Project  
**SUMMIT CARE**  
11-19 Frenchmans Road, Randwick  
Drawing  
**LOWER BASEMENT FLOOR PLAN**



	Date	JAN 2019	Job No.	Drawing
	Scale	AS SHOWN		
	Drawn	SS / WW	1912 /	DA03
	Amendment	B		



Floors Concrete between levels, no insulation required  
Walls External walls:  
Lightweight Cladding with R2.0 insulation (insulation only value)  
External colour:  
Medium (0.475<SA<0.7)  
Inter-tenancy walls:  
Minimum 75mm Hebel Power Panel to walls adjacent to neighbours and hallways, no insulation required  
Internal walls (within units):  
Plasterboard on studs  
Windows Glazed windows ILU 1:  
U-value: 6.70 (equal to or lower than) SHGC: 0.70 (±10%)

Glazed windows ILU 2:  
U-value: 4.80 (equal to or lower than) SHGC: 0.59 (±10%)  
Given values are AFRC total window system values (glass and frame)  
Roof & Ceilings Metal roof with foil backed blanket (Ru1.3 and Rd1.3)  
Plasterboard ceiling with R3.0 insulation (insulation only value) to where roof is above  
External colour:  
Dark (SA > 0.7)  
Note: Loss of ceiling insulation due to penetrations from down lights have been accounted for in accordance with BCA Technical Note 2 and Sealed LED down lights at a maximum of one every 2.5m2  
Floor coverings Tiles throughout  
Hot water system Central gas-fired boiler with RL1.0 (-38mm) insulation to ring main and supply risers  
Fixtures Showerheads: 4.0 star medium flow (>6.0L but <=7.5L/min)  
Toilets: 4.0 star  
Kitchen taps: 5.0 star  
Bathroom vanity taps: 5.0 star  
Cooling syste Ceiling fans + single phase air conditioning to living areas and bedrooms: Min. 2 star  
Heating systems Ceiling fans + single phase air conditioning to living areas and bedrooms: Min. 2 star  
Appliances Dish washer: 3.0 star water & 4.0 star energy rating  
Common clothes washer: 4.0 star water & 3.5 star energy rating  
Common clothes dryer: 2.0 star energy rating  
Refrigerator: 3.5 star energy rating  
Ventilation in units Kitchen- Individual fan, externally ducted to façade, manual on/off switch  
Bathrooms - Individual fan, externally ducted to façade, manual on/off switch  
Laundry- Individual fan, externally ducted to façade, manual on/off switch  
Other Electric cooktop & electric oven

## LEGEND

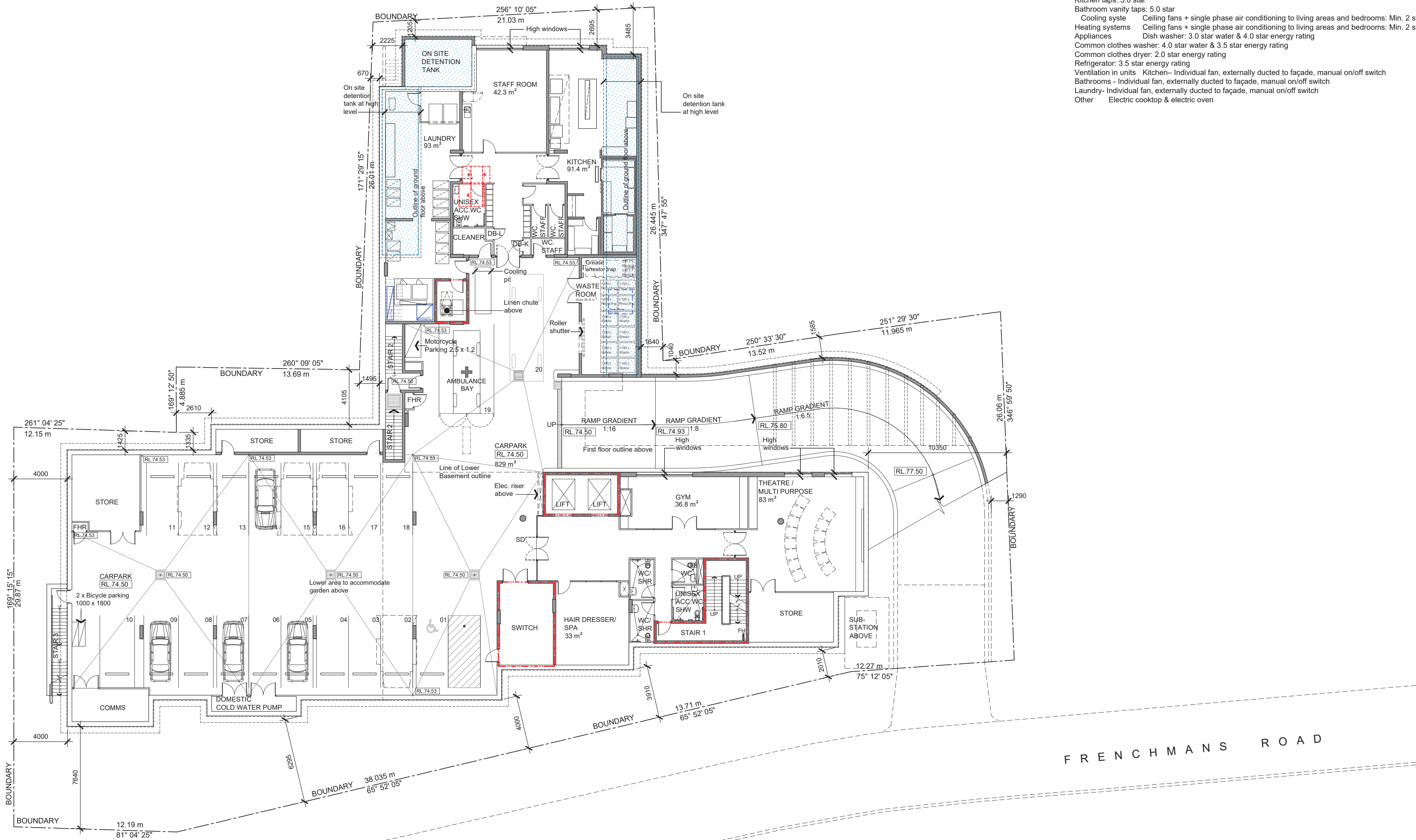
-----	BOUNDARY
=====	MASONRY WALL
=====	STUD WALL
-----	OUTLINE OF WALL ABOVE / BELOW
-----	ROOF OUTLINE
-----	NEW FENCE
+ ex RL 00.00	EXISTING LEVELS
[RL 00.00]	PROPOSED LEVELS
U	PROPOSED DOOR
U	PROPOSED WINDOW
U	MOBILE BATH
U	CEILING FAN
U	EXISTING TREES TO REMAIN
U	EXISTING TREES TO BE REMOVED
U	NEW TREES

## ACOUSTIC REQUIREMENTS

	Rw 36 10.38mm laminated OR Rw 36 6/12/8 glass
	Rw 31 10mm monolithic OR Rw 34 6/12/6 glass
	Rw 27 6mm monolithic OR Rw 34 6/12/6 glass

## NCC 2019 - SECTION J REQUIREMENTS

Envelope Construction		Total System R-Value (m²K/W)	
J1.3 Roof and ceiling construction		≥ 3.70	
J1.4 Roof lights		N/A	
J1.5a Total System external wall construction (all facades)		≥ 2.39	
J1.5b Total System internal wall construction (between conditioned & unconditioned areas)		≥ 1.00	
J1.6a Floor construction (above an unconditioned zone)		≥ 2.00	
J1.6b Floor construction (concrete slab on ground)		No insulation required	
Glazing - Frame Construction (Uniform solution)		Total System SHGC	Total System SHGC
J1.5c Total Window Frame construction	All facades	≤ 4.00	≤ 0.29



FRENCHMANS ROAD

FRENCHMANS ROAD



B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

Project  
SUMMIT CARE  
11-19 Frenchmans Road, Randwick  
Drawing  
BASEMENT FLOOR PLAN



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Date	JAN 2019	Job No.	Drawing
Scale	AS SHOWN		
Drawn	SS / WW		2017 / DA04
Amendment	B		





Floors Concrete between levels, no insulation required  
Walls External walls:  
Lightweight Cladding with R2.0 insulation (insulation only value)  
External colour:  
Medium (0.475<SA<0.7)  
Inter-laminate walls:  
Minimum 75mm Hebel Power Panel to walls adjacent to neighbours and hallways, no insulation required  
Internal walls (within units):  
Plasterboard on studs  
Windows Glazed windows ILU 1:  
U-value: 6.70 (equal to or lower than) SHGC: 0.70 (±10%)

Glazed windows ILU 2:  
U-value: 4.80 (equal to or lower than) SHGC: 0.59 (±10%)  
Given values are AFRC total window system values (glass and frame)  
Roof & Ceilings Metal roof with foil-backed blanket (Rd1.3 and Rd1.3)  
Plasterboard ceiling with R3.0 insulation (insulation only value) to where roof is above  
External colour:  
Dark (SA > 0.7)  
Note: Loss of ceiling insulation due to penetrations from down lights have been accounted for in accordance with BCA Technical Note 2 and Sealed LED down lights at a maximum of one every 2.5m2  
Floor coverings Tiles throughout  
Hot water system Central gas-fired boiler with R1.0 (~38mm) insulation to ring main and supply risers  
Fixtures Showerheads: 4.0 star medium flow (>6.0L but <=7.5L/min)  
Toilets: 4.0 star  
Kitchen taps: 5.0 star  
Bathroom vanity taps: 5.0 star  
Cooling system Ceiling fans + single phase air conditioning to living areas and bedrooms: Min. 2 star  
Heating systems Ceiling fans + single phase air conditioning to living areas and bedrooms: Min. 2 star  
Appliances Dish washer: 3.0 star water & 4.0 star energy rating  
Common clothes washer: 4.0 star water & 3.5 star energy rating  
Common clothes dryer: 2.0 star energy rating  
Refrigerator: 3.5 star energy rating  
Ventilation in units Kitchen- Individual fan, externally ducted to façade, manual on/off switch  
Bathrooms - Individual fan, externally ducted to façade, manual on/off switch  
Laundry- Individual fan, externally ducted to façade, manual on/off switch  
Other Electric cooktop & electric oven

## LEGEND

-----	BOUNDARY
=====	MASONRY WALL
=====	STUD WALL
-----	OUTLINE OF WALL ABOVE / BELOW
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-----	NEW FENCE
+ ex RL 00.00	EXISTING LEVELS
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## ACOUSTIC REQUIREMENTS

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## NCC 2019 - SECTION J REQUIREMENTS

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J1.6b	Floor construction (concrete slab on ground)	No insulation required	
Glazing - Frame Construction (Uniform solution)	Orientation	Total System SHGC	Total System SHGC
J1.5c Total Window Frame construction	All facades	≤ 4.00	≤ 0.29



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B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

Project  
SUMMIT CARE  
11-19 Frenchmans Road, Randwick  
Drawing  
GROUND FLOOR PLAN

**SUMMITCARE**  
WARRATH WORTH WELLBEING  
**boffa robertson group**  
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Date	JAN 2019	Job No.	Drawing
Scale	AS SHOWN		
Drawn	SS		2017 / DA05
Amendment	B		



Floors Concrete between levels, no insulation required  
Walls External walls:  
Lightweight Cladding with R2.0 insulation (insulation only value)  
External colour:  
Medium (0.475<SA<0.7)  
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## LEGEND

-----	BOUNDARY
=====	MASONRY WALL
=====	STUD WALL
-----	OUTLINE OF WALL ABOVE / BELOW
-----	ROOF OUTLINE
-----	NEW FENCE
+ ex.RL 00.00	EXISTING LEVELS
RL 00.00	PROPOSED LEVELS
U	PROPOSED DOOR
U	PROPOSED WINDOW
U	MOBILE BATH
U	CEILING FAN
U	EXISTING TREES TO REMAIN
U	EXISTING TREES TO BE REMOVED
U	NEW TREES

## ACOUSTIC REQUIREMENTS

-----	Rw 36 10.38mm laminated OR Rw 36 6/12/8 glass
-----	Rw 31 10mm monolithic OR Rw 34 6/12/6 glass
-----	Rw 27 6mm monolithic OR Rw 34 6/12/6 glass

## NCC 2019 - SECTION J REQUIREMENTS

Envelope Construction		Total System R-Value (m²K/W)		
J1.3	Roof and ceiling construction	≥ 3.70		
J1.4	Roof lights	N/A		
J1.5a	Total System external wall construction (all facades)	≥ 2.39		
J1.5b	Total System internal wall construction (between conditioned & unconditioned areas)	≥ 1.00		
J1.6a	Floor construction (above an unconditioned zone)	≥ 2.00		
J1.6b	Floor construction (concrete slab on ground)	No insulation required		
Glazing - Frame Construction (Uniform solution)		Orientation	Total System SHGC	Total System SHGC
J1.5c	Total Window Frame construction	All facades	≤ 4.00	≤ 0.29

0005175370 07 Jul 2021  
Assessor Tracey Coles  
Accreditation No. HESA 10033  
Address  
11-19 Frenchmans Road,  
Randwick, NSW, 2031  
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B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

Project  
SUMMIT CARE  
11-19 Frenchmans Road, Randwick

Drawing  
FIRST FLOOR PLAN



boffa robertson group  
architecture, health and aged care planning, project management

Suite 7, Level 1, Epica, 9 Railway Street  
Chadstone NSW 2067  
AUSTRALIA  
Tel: (02) 9406 7000  
Fax: (02) 9406 7009  
Email: brgroup@brgr.net

Date	JAN 2019	Job No.	Drawing
Scale	AS SHOWN		
Drawn	SS		2017 / DA06
Amendment	B		

0m 2 5 10 15m  
SCALE: 1:200 @ A1  
SCALE: 1:400 @ A3



Floors Concrete between levels, no insulation required  
Walls External walls:  
Lightweight Cladding with R2.0 insulation (insulation only value)  
External colour:  
Medium (0.475<SA<0.7)  
Inter-tenancy walls:  
Minimum 75mm Hebel Power Panel to walls adjacent to neighbours and hallways, no insulation required  
Internal walls (within units):  
Plasterboard on studs  
Windows Glazed windows ILU 1:  
U-value: 6.70 (equal to or lower than) SHGC: 0.70 (±10%)

Glazed windows ILU 2:  
U-value: 4.80 (equal to or lower than) SHGC: 0.59 (±10%)  
Given values are AFRC total window system values (glass and frame)  
Roof & Ceilings Metal roof with foil backed blanket (Ru1.3 and Rd1.3)  
Plasterboard ceiling with R3.0 insulation (insulation only value) to where roof is above  
External colour:  
Dark (SA > 0.7)  
Note: Loss of ceiling insulation due to penetrations from down lights have been accounted for in accordance with BCA Technical Note 2 and Sealed LED down lights at a maximum of one every 2.5m2  
Floor coverings Tiles throughout  
Hot water system Central gas-fired boiler with R1.0 (~38mm) insulation to ring main and supply risers  
Fixtures Showerheads: 4.0 star medium flow (>6.0L but <=7.5L/min)  
Toilets: 4.0 star  
Kitchen taps: 5.0 star  
Bathroom vanity taps: 5.0 star  
Cooling system Ceiling fans + single phase air conditioning to living areas and bedrooms: Min. 2 star  
Heating systems Ceiling fans + single phase air conditioning to living areas and bedrooms: Min. 2 star  
Appliances Dish washer: 3.0 star water & 4.0 star energy rating  
Common clothes washer: 4.0 star water & 3.5 star energy rating  
Common clothes dryer: 2.0 star energy rating  
Refrigerator: 3.5 star energy rating  
Ventilation in units Kitchen- Individual fan, externally ducted to façade, manual on/off switch  
Bathrooms - Individual fan, externally ducted to façade, manual on/off switch  
Laundry- Individual fan, externally ducted to façade, manual on/off switch  
Other Electric cooktop & electric oven



## LEGEND

-----	BOUNDARY
=====	MASONRY WALL
=====	STUD WALL
-----	OUTLINE OF WALL ABOVE / BELOW
-----	ROOF OUTLINE
-----	NEW FENCE
+ ex RL 00.00	EXISTING LEVELS
RL 00.00	PROPOSED LEVELS
U	PROPOSED DOOR
U	PROPOSED WINDOW
U	MOBILE BATH
U	CEILING FAN
U	EXISTING TREES TO REMAIN
U	EXISTING TREES TO BE REMOVED
U	NEW TREES

## ACOUSTIC REQUIREMENTS

-----	Rw 36 10.38mm laminated OR Rw 36 6/12/8 glass
-----	Rw 31 10mm monolithic OR Rw 34 6/12/6 glass
-----	Rw 27 6mm monolithic OR Rw 34 6/12/6 glass

## NCC 2019 - SECTION J REQUIREMENTS

Envelope Construction		Total System R-Value (m²K/W)	
J1.3	Roof and ceiling construction	≥ 3.70	
J1.4	Roof lights	N/A	
J1.5a	Total System external wall construction (all facades)	≥ 2.39	
J1.5b	Total System internal wall construction (between conditioned & unconditioned areas)	≥ 1.00	
J1.6a	Floor construction (above an unconditioned zone)	≥ 2.00	
J1.6b	Floor construction (concrete slab on ground)	No insulation required	
Glazing - Frame Construction (Uniform solution)		Total System SHGC	Total System SHGC
J1.5c	Total Window Frame construction	≤ 4.00	≤ 0.29



B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

Project  
SUMMIT CARE  
11-19 Frenchmans Road, Randwick

Drawing  
SECOND FLOOR PLAN



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architecture, health and aged care planning, project management  
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Fax: (02) 9406 7009  
Email: brgroup@brgr.net

Date	JAN 2019	Job No.	Drawing
Scale	1:200@A1		
Drawn	SS		2017 / DA07
Amendment	B		

0m 2 5 10 15m  
SCALE: 1:200 @ A1  
SCALE: 1:400 @ A3



## BASIX and Thermal Comfort Inclusions

Floors	Concrete between levels, no insulation required
Walls	External walls: Brick Veneer with R2.0 insulation (insulation only value) External colour: Medium (0.475<SA<0.7) Inter-tenancy walls: Minimum 75mm Hebel Power Panel to walls adjacent to neighbours and hallways, no insulation required. Internal walls (within units): Plasterboard on studs
Windows	Aluminium framed double glazing: U-value: 3.40 (equal to or lower than) SHGC: 0.33 (±10%) Given values are AFRC total window system values (glass and frame) Note: Operability modelled as per BASIX Thermal Protocol – 4.14.2 and NatHERS Technical Note 1.2 – 10.11 with regards to restricted openings
Ceilings	Plasterboard ceiling with R3.0 insulation (insulation only value) to where roof is above Plasterboard ceiling, no insulation where neighbouring units are above. Note: Loss of ceiling insulation due to penetrations from down lights have been accounted for in accordance with BCA Technical Note 2 and Sealed LED down lights at a maximum of one every 2.5m2
Roof	Metal roof with foil backed blanket (Ru1.3 and Rd1.3) External colour: Dark (SA > 0.7)
Floor coverings	Tiles to throughout
Hot water system	Central gas-fired boiler with R1.0 (~38mm) insulation to ring main and supply risers
Fixtures	Showerheads: 4.0 star low flow (>4.5L but <=6.0L/min) Toilets: 4.0 star Kitchen taps: 5.0 star Bathroom vanity taps: 5.0 star
Cooling systems	Ceiling fans + single phase air conditioning to living areas and bedrooms: Min. 3 star
Heating systems	Ceiling fans + single phase air conditioning to living areas and bedrooms: Min. 3 star
Appliances	Dish washer: 3.0 star water & 4.0 star energy rating Clothes washer: 3.0 star water & 4.0 star energy rating Clothes dryer: 6.0 star energy rating Refrigerator: 3.5 star energy rating
Ventilation in units	Kitchen - Individual fan, externally ducted to façade, manual on/off switch Bathrooms - Individual fan, externally ducted to façade, manual on/off switch Laundry - Individual fan, externally ducted to façade, manual on/off switch
Other	Electric cooktop & electric oven Well-ventilated fridge space Air conditioning day-night zoned between bedrooms and living areas

## LEGEND

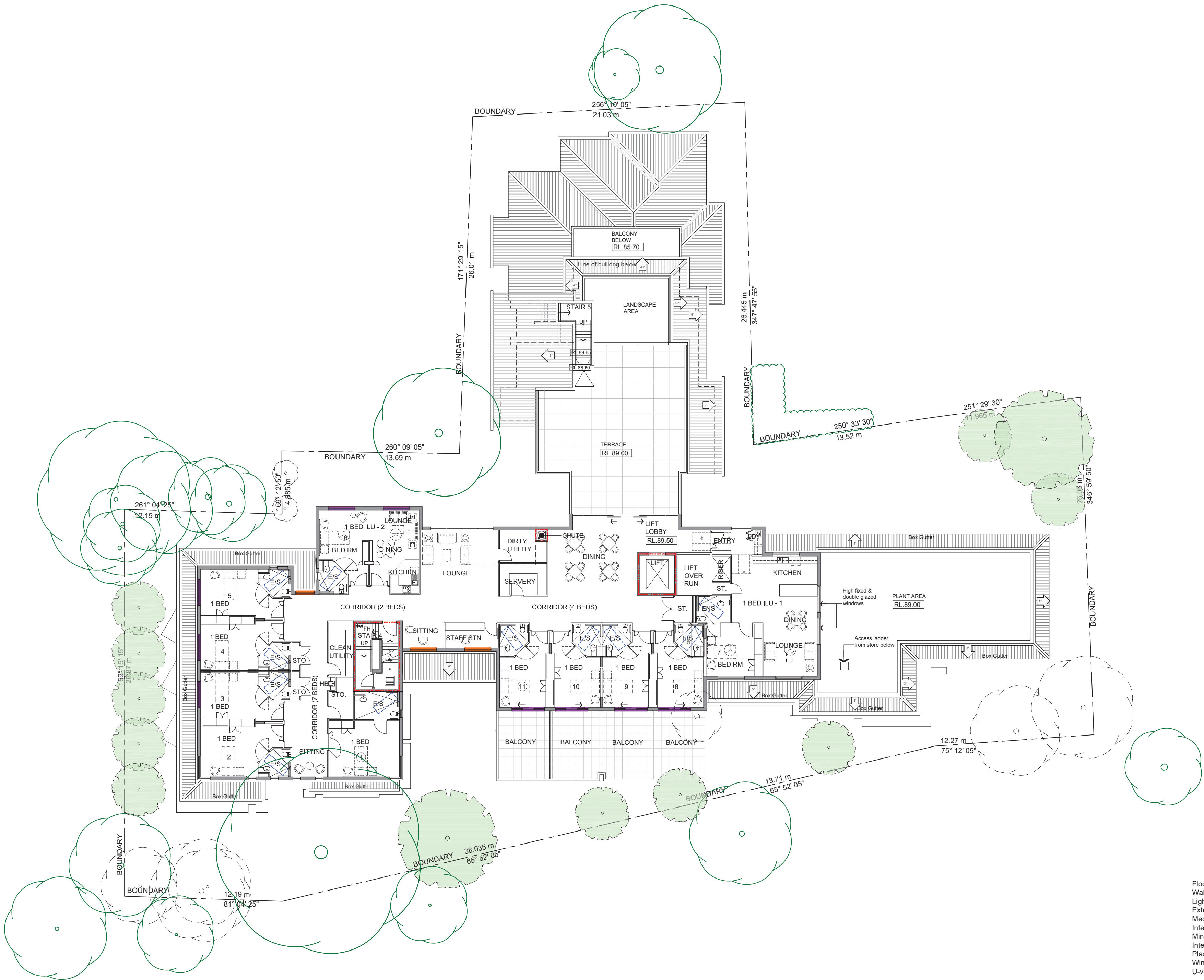
---	BOUNDARY
=====	MASONRY WALL
=====	STUD WALL
-----	OUTLINE OF WALL ABOVE / BELOW
-----	ROOF OUTLINE
-----	NEW FENCE
+ ex RL 00.00	EXISTING LEVELS
[RL 00.00]	PROPOSED LEVELS
U	PROPOSED DOOR
U	PROPOSED WINDOW
□	MOBILE BATH
⊙	CEILING FAN
⊙	EXISTING TREES TO REMAIN
⊙	EXISTING TREES TO BE REMOVED
⊙	NEW TREES

## ACOUSTIC REQUIREMENTS

---	Rw 36 10.38mm laminated OR Rw 36 6/12/8 glass
---	Rw 31 10mm monolithic OR Rw 34 6/12/6 glass
---	Rw 27 6mm monolithic OR Rw 34 6/12/6 glass

## NCC 2019 - SECTION J REQUIREMENTS

Envelope Construction		Total System R-Value (m²K/W)		
J1.3	Roof and ceiling construction	≥ 3.70		
J1.4	Roof lights	N/A		
J1.5a	Total System external wall construction (all facades)	≥ 2.39		
J1.5b	Total System internal wall construction (between conditioned & unconditioned areas)	≥ 1.00		
J1.6a	Floor construction (above an unconditioned zone)	≥ 2.00		
J1.6b	Floor construction (concrete slab on ground)	No insulation required		
Glazing - Frame Construction (Uniform solution)	Orientation	Total System SHGC	Total System SHGC	
J1.5c	Total Window Frame construction	All facades	≤ 4.00	≤ 0.29



Floors Concrete between levels, no insulation required  
Walls External walls:  
Lightweight Cladding with R2.0 insulation (insulation only value)  
External colour:  
Medium (0.475<SA<0.7)  
Inter-tenancy walls:  
Minimum 75mm Hebel Power Panel to walls adjacent to neighbours and hallways, no insulation required  
Internal walls (within units):  
Plasterboard on studs  
Windows Glazed windows ILU 1:  
U-value: 6.70 (equal to or lower than) SHGC: 0.70 (±10%)  
Glazed windows ILU 2:  
U-value: 4.80 (equal to or lower than) SHGC: 0.59 (±10%)  
Given values are AFRC total window system values (glass and frame)  
Roof & Ceilings Metal roof with foil backed blanket (Ru1.3 and Rd1.3)  
Plasterboard ceiling with R3.0 insulation (insulation only value) to where roof is above  
External colour:  
Dark (SA > 0.7)  
Note: Loss of ceiling insulation due to penetrations from down lights have been accounted for in accordance with BCA Technical Note 2 and Sealed LED down lights at a maximum of one every 2.5m2  
Floor coverings Tiles throughout  
Hot water system Central gas-fired boiler with R1.0 (~38mm) insulation to ring main and supply risers  
Fixtures Showerheads: 4.0 star medium flow (>6.0L but <=7.5L/min)  
Toilets: 4.0 star  
Kitchen taps: 5.0 star  
Bathroom vanity taps: 5.0 star  
Cooling system Ceiling fans + single phase air conditioning to living areas and bedrooms: Min. 2 star  
Heating systems Ceiling fans + single phase air conditioning to living areas and bedrooms: Min. 2 star  
Appliances Dish washer: 3.0 star water & 4.0 star energy rating  
Common clothes washer: 4.0 star water & 3.5 star energy rating  
Common clothes dryer: 2.0 star energy rating  
Refrigerator: 3.5 star energy rating  
Ventilation in units Kitchen- Individual fan, externally ducted to façade, manual on/off switch  
Bathrooms - Individual fan, externally ducted to façade, manual on/off switch  
Laundry - Individual fan, externally ducted to façade, manual on/off switch  
Other Electric cooktop & electric oven

0m 2 5 10 15m  
SCALE: 1:200 @ A1  
SCALE: 1:400 @ A3



B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

Project  
SUMMIT CARE  
11-19 Frenchmans Road, Randwick

Drawing  
THIRD FLOOR PLAN



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Suite 7, Level 1, Epica, 9 Railway Street  
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AUSTRALIA  
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Date	JAN 2019	Job No.	Drawing
Scale	AS SHOWN		
Drawn	SS / WW		2017 / DA08
Amendment	B		



## LEGEND

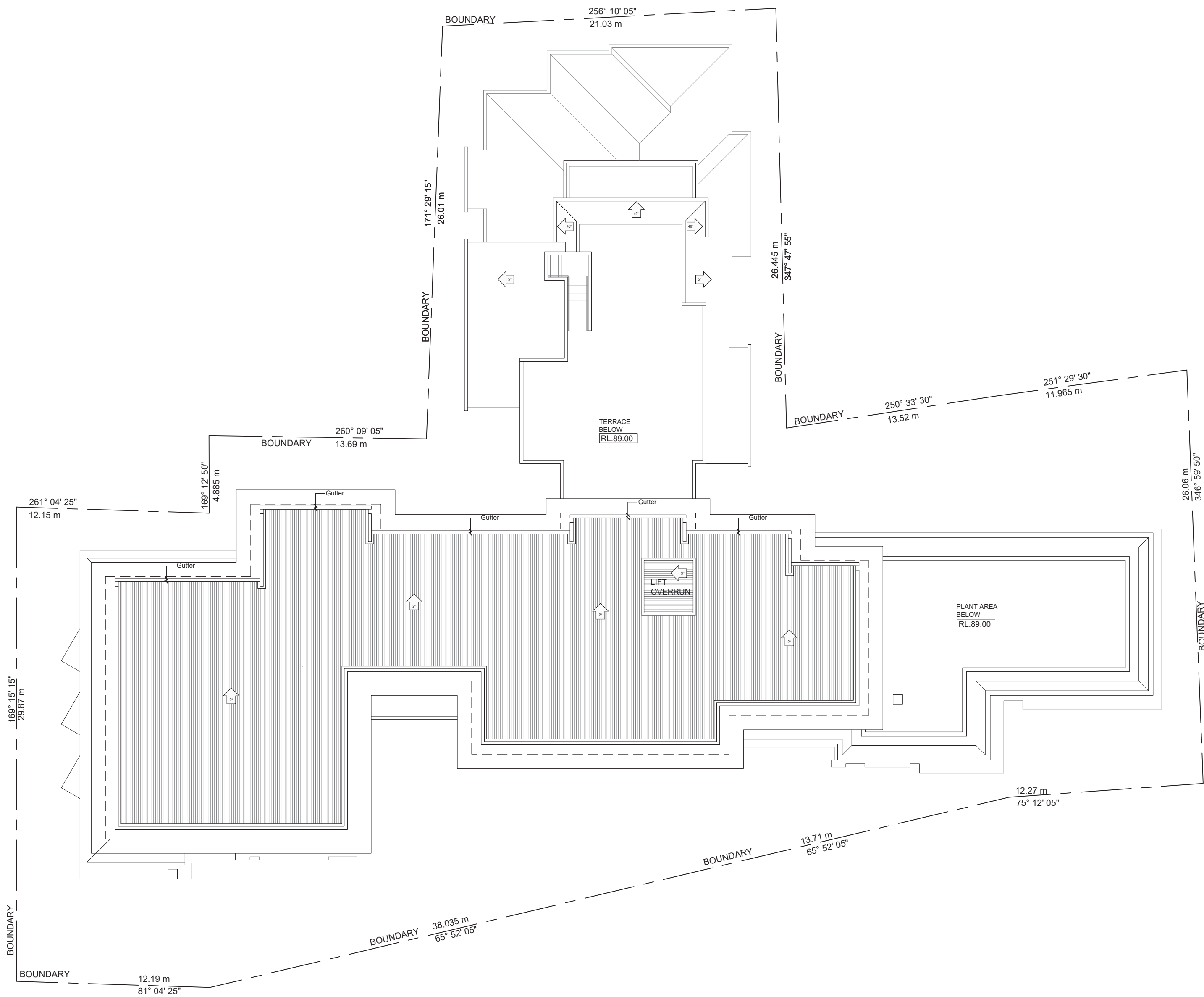
	BOUNDARY
	MASONRY WALL
	STUD WALL
	OUTLINE OF WALL ABOVE / BELOW
	ROOF OUTLINE
	NEW FENCE
	EXISTING LEVELS
	PROPOSED LEVELS
	PROPOSED DOOR
	PROPOSED WINDOW
	MOBILE BATH
	CEILING FAN
	EXISTING TREES TO REMAIN
	EXISTING TREES TO BE REMOVED
	NEW TREES

## ACOUSTIC REQUIREMENTS

	Rw 36 10.38mm laminated OR Rw 36 6/12/8 glass
	Rw 31 10mm monolithic OR Rw 34 6/12/6 glass
	Rw 27 6mm monolithic OR Rw 34 6/12/6 glass

## NCC 2019 - SECTION J REQUIREMENTS

Envelope Construction		Total System R-Value (m²K/W)	
J1.3	Roof and ceiling construction	≥ 3.70	
J1.4	Roof lights	N/A	
J1.5a	Total System external wall construction (all facades)	≥ 2.39	
J1.5b	Total System internal wall construction (between conditioned & unconditioned areas)	≥ 1.00	
J1.6a	Floor construction (above an unconditioned zone)	≥ 2.00	
J1.6b	Floor construction (concrete slab on ground)	No insulation required	
Glazing - Frame Construction (Uniform solution)		Total System SHGC	Total System SHGC
J1.5c	Total Window Frame construction	≤ 4.00	≤ 0.29



## BASIX and Thermal Comfort Inclusions SummitCare Randwick (11-19 Frenchmans Road, Randwick)

Floors Concrete between levels, no insulation required  
Walls External walls:  
Lightweight Cladding with R2.0 insulation (insulation only value)  
External colour:  
Medium (0.475<SA<0.7)  
Inter-tenancy walls:  
Minimum 75mm Hebel Power Panel to walls adjacent to neighbours and hallways, no insulation required  
Internal walls (within units):  
Plasterboard on studs  
Windows Glazed windows ILU 1:  
U-value: 6.70 (equal to or lower than) SHGC: 0.70 (±10%)  
Glazed windows ILU 2:  
U-value: 4.80 (equal to or lower than) SHGC: 0.59 (±10%)  
Given values are AFRC total window system values (glass and frame)  
Roof & Ceilings Metal roof with foil backed blanket (R1.3 and R1.3)  
Plasterboard ceiling with R3.0 insulation (insulation only value) to where roof is above  
External colour:  
Dark (SA > 0.7)  
Note: Loss of ceiling insulation due to penetrations from down lights have been accounted for in accordance with BCA Technical Note 2 and Sealed LED down lights at a maximum of one every 2.5m2  
Floor coverings Tiles throughout  
Hot water system Central gas-fired boiler with R1.0 (~38mm) insulation to ring main and supply risers  
Fixtures Showers: 4.0 star medium flow (>6.0L but <=7.5L/min)  
Toilets: 4.0 star  
Kitchen taps: 5.0 star  
Bathroom vanity taps: 5.0 star  
Cooling system Ceiling fans + single phase air conditioning to living areas and bedrooms: Min. 2 star  
Heating systems Ceiling fans + single phase air conditioning to living areas and bedrooms: Min. 2 star  
Appliances Dish washer: 3.0 star water & 4.0 star energy rating  
Common clothes washer: 4.0 star water & 3.5 star energy rating  
Common clothes dryer: 2.0 star energy rating  
Refrigerator: 3.5 star energy rating  
Ventilation in units Kitchen- Individual fan, externally ducted to façade, manual on/off switch  
Bathrooms - Individual fan, externally ducted to façade, manual on/off switch  
Laundry- Individual fan, externally ducted to façade, manual on/off switch  
Other Electric cooktop & electric oven



B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

Project  
SUMMIT CARE  
11-19 Frenchmans Road, Randwick

Drawing  
ROOF PLAN



boffa robertson group  
architecture, health and aged care planning, project management

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Fax: (02) 9406 7009  
Email: brgroup@brgr.net

	Date	JAN 2019	Job No.	Drawing
	Scale	AS SHOWN		
	Drawn	SS / WW	2017 /	DA09
	Amendment	B		



## LEGEND

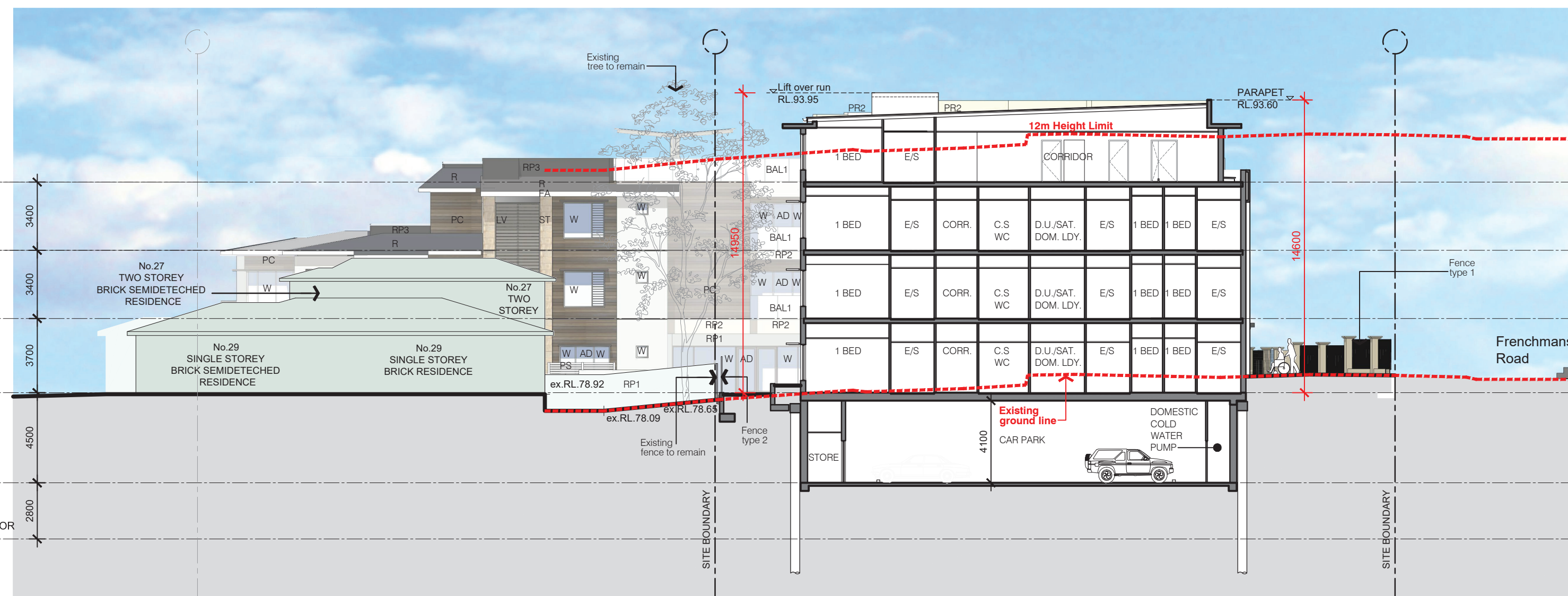
AD	ALUMINIUM FRAMED DOORS
BA1	BALUSTRADE - TYPE 1 (GLASS)
BA2	BALUSTRADE - TYPE 2 (DECORATIVE GRILLE)
CB	COLORBACK GLASS
EGL	EXISTING GROUND LINE
FA	FASCIA - COLORBOND SURFMIST OR SIMILAR
FGL	FINISHED GROUND LINE
GLV	GLASS LOUVRE
LV	LOUVRE - POWDER COATED
OW	OPENABLE WINDOW
PC	PREFINISHED CLADDING (TIMBER LOOK)
PS	1800H PRIVACY SCREEN
PT	PAINTED DECORATIVE TIMBER
R	ROOF GUTTER, DP - TYPE 1 (CORRUGATED COLORBOND, COLOR IRONSTONE)
RP1	RENDERED PAINTED WALL - COLOUR WHITE
RP2	RENDERED PAINTED WALL - COLOUR BEIGE
RP3	RENDERED PAINTED WALL - COLOUR GREY
RS	ROLLER SHUTTER
RW	RETAINING WALL - STONE CLADDING
SS	SUN SHADING
ST	STONE CLADDING
W	ALUMINIUM FRAMED WINDOWS

## FENCE TYPES

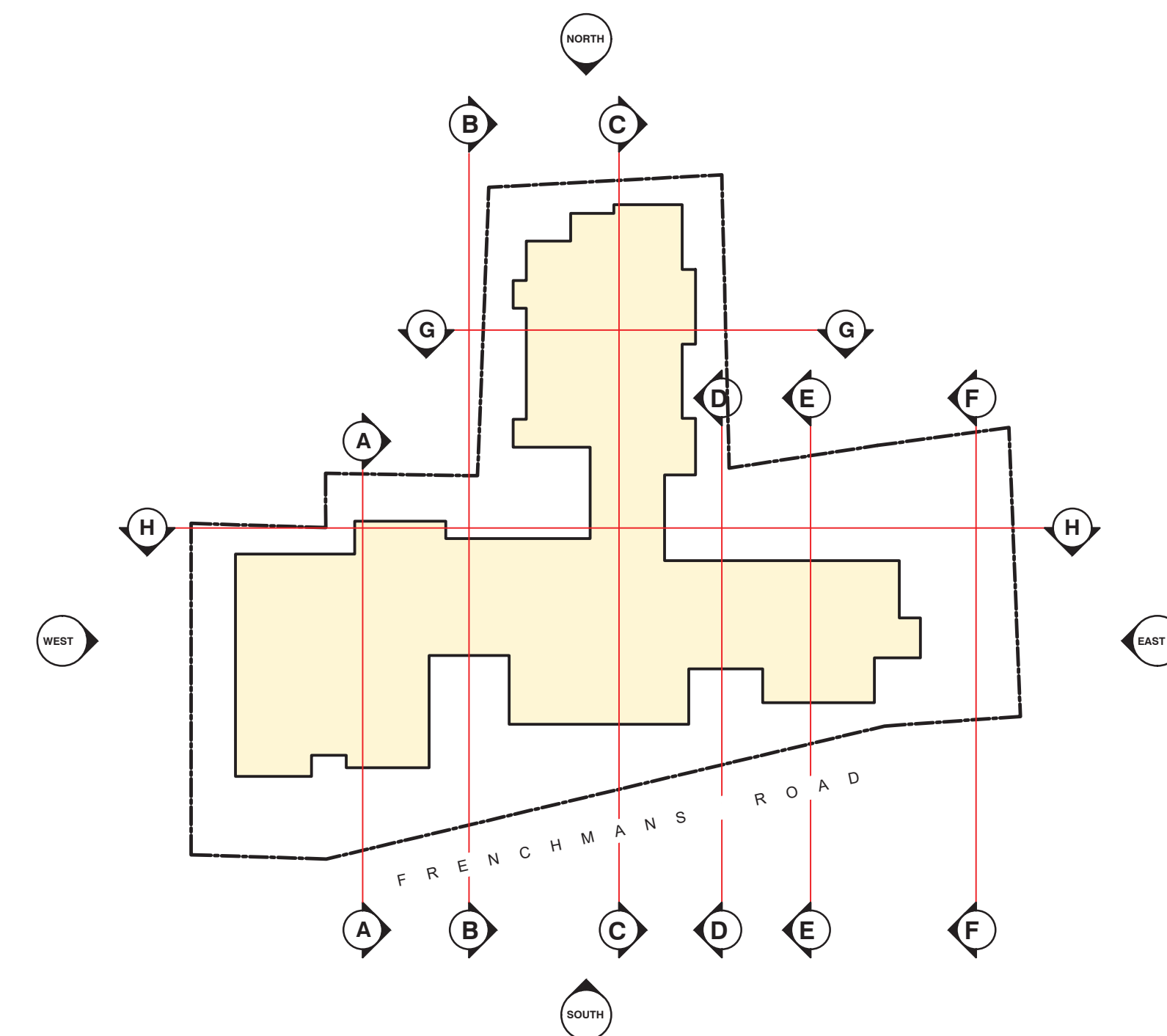
F1	1800H POWDER COATED STEEL BLADE SECURITY FENCE ON MASONRY WALL RENDERED AND PAINTED WITH 400 X400 X1950H MASONRY COLUMN POST RENDERED AND PAINTED FINISH
F2	1800H COLORBOND STEEL FENCING ON MASONRY WALL RENDERED AND PAINTED + EXISTING FENCE

## NOTE:

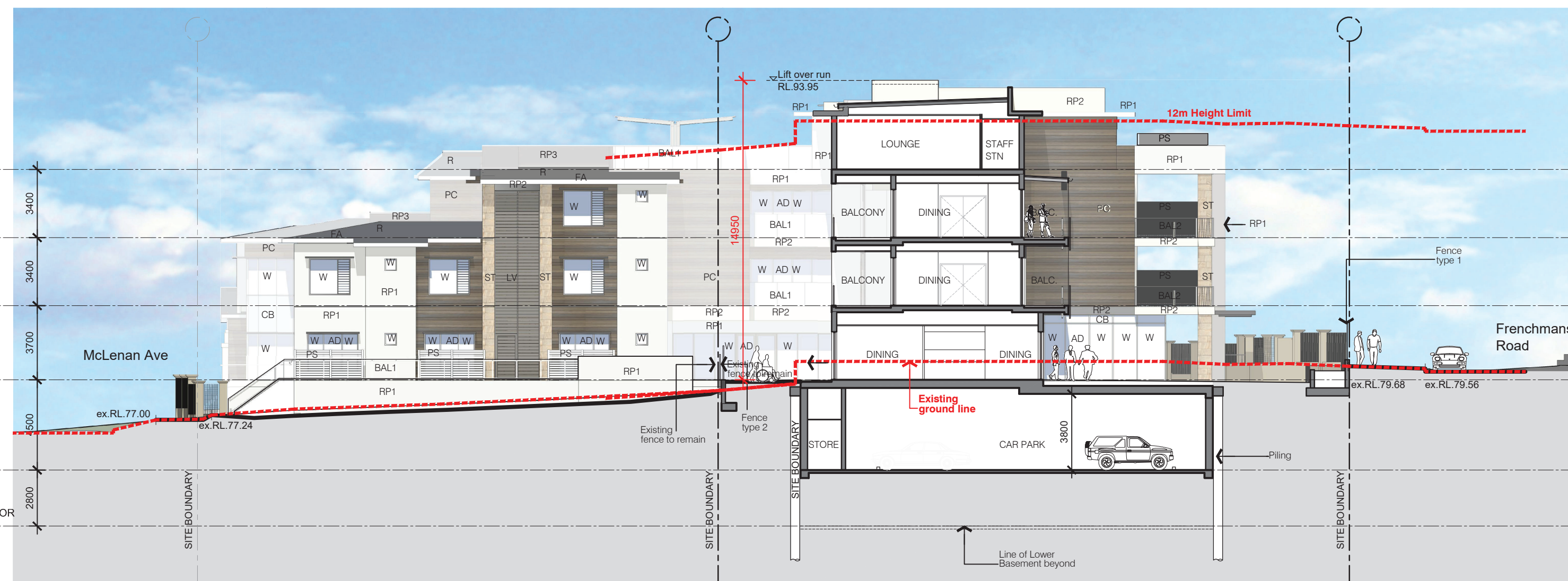
ALL ENSUITE & SITTING ROOMS' WINDOWS TO BE OPENABLE WITH FLYSCREEN



01 Section A  
Scale 1:200



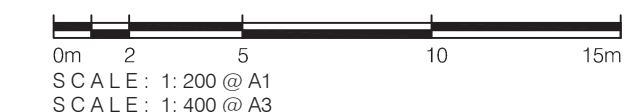
KEY PLAN



02 Section B  
Scale 1:200

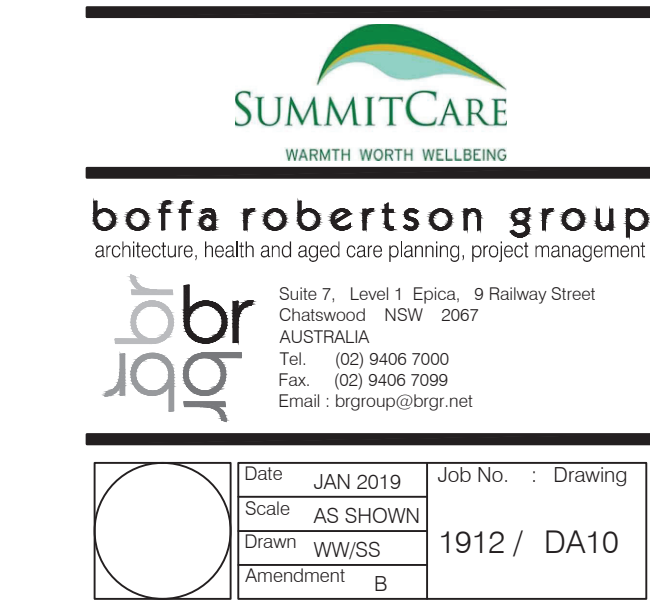


03 Section C  
Scale 1:200



B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

Project  
FRENCHMANS LODGE  
11-15, 17 & 19 Frenchmans Road, RANDWICK  
Drawing  
SECTIONS (A, B & C)





LEGEND

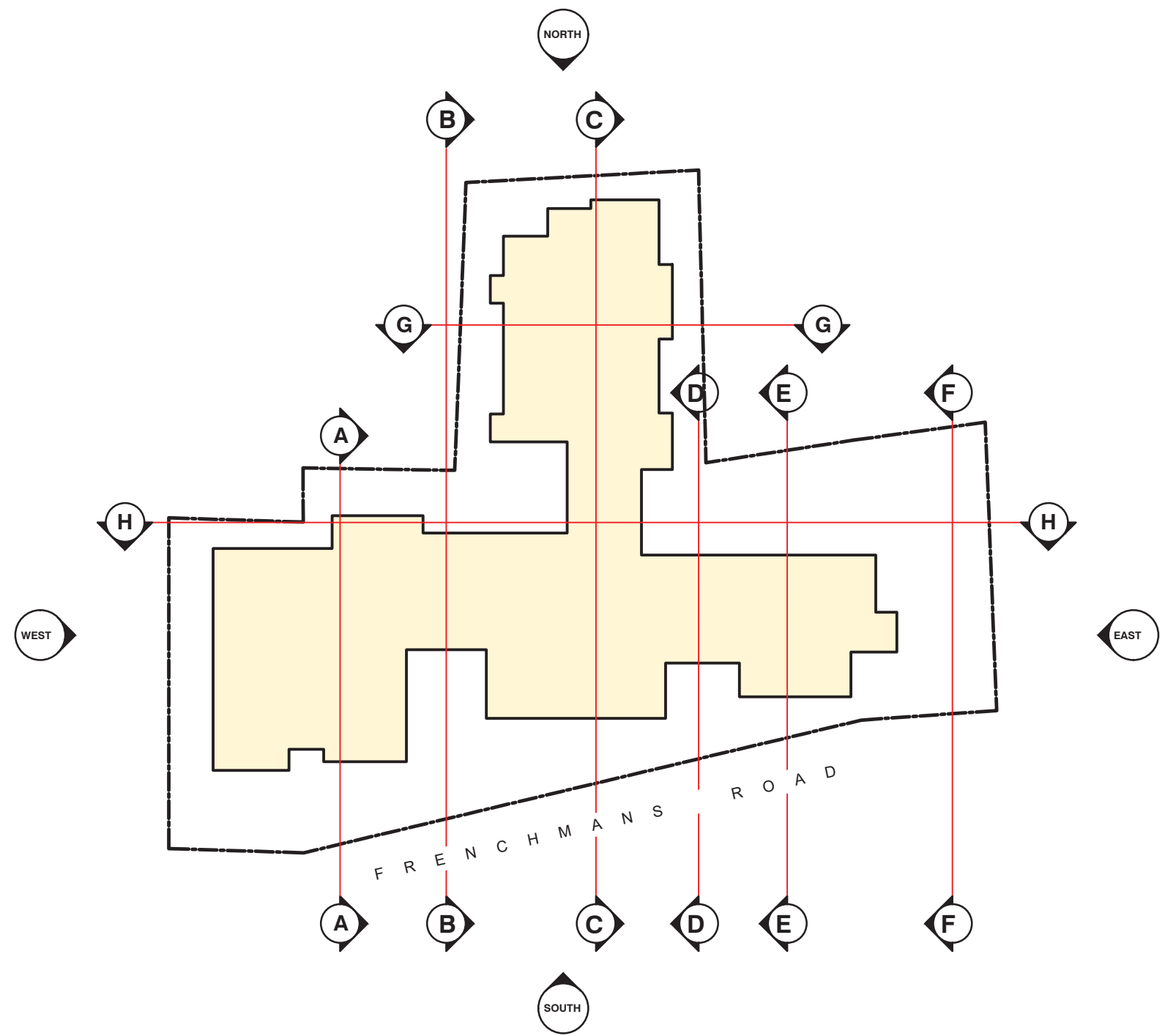
AD	ALUMINIUM FRAMED DOORS
BA1	BALUSTRADE - TYPE 1 (GLASS)
BA2	BALUSTRADE - TYPE 2 (DECORATIVE GRILLE)
CB	COLORBACK GLASS
EGL	EXISTING GROUND LINE
FA	FASCIA - COLORBOND SURFMIST OR SIMILAR
FGL	FINISHED GROUND LINE
GLV	GLASS LOUVRE
LV	LOUVRE - POWDER COATED
OW	OPENABLE WINDOW
PC	PREFINISHED CLADDING (TIMBER LOOK)
PS	1800H PRIVACY SCREEN
PT	PAINTED DECORATIVE TIMBER
R	ROOF GUTTER, DP - TYPE 1 (CORRUGATED COLORBOND, COLOR IRONSTONE)
RP1	RENDERED PAINTED WALL - COLOUR WHITE
RP2	RENDERED PAINTED WALL - COLOUR BEIGE
RP3	RENDERED PAINTED WALL - COLOUR GREY
RS	ROLLER SHUTTER
RW	RETAINING WALL - STONE CLADDING
SS	SUN SHADING
ST	STONE CLADDING
W	ALUMINIUM FRAMED WINDOWS

FENCE TYPES

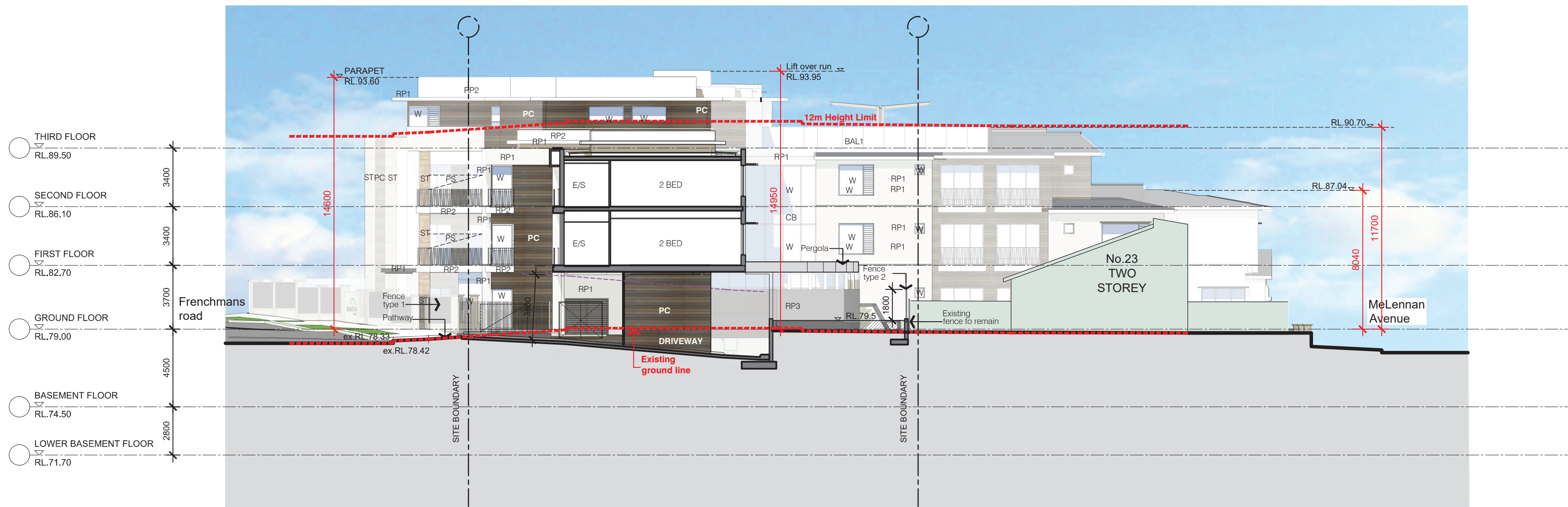
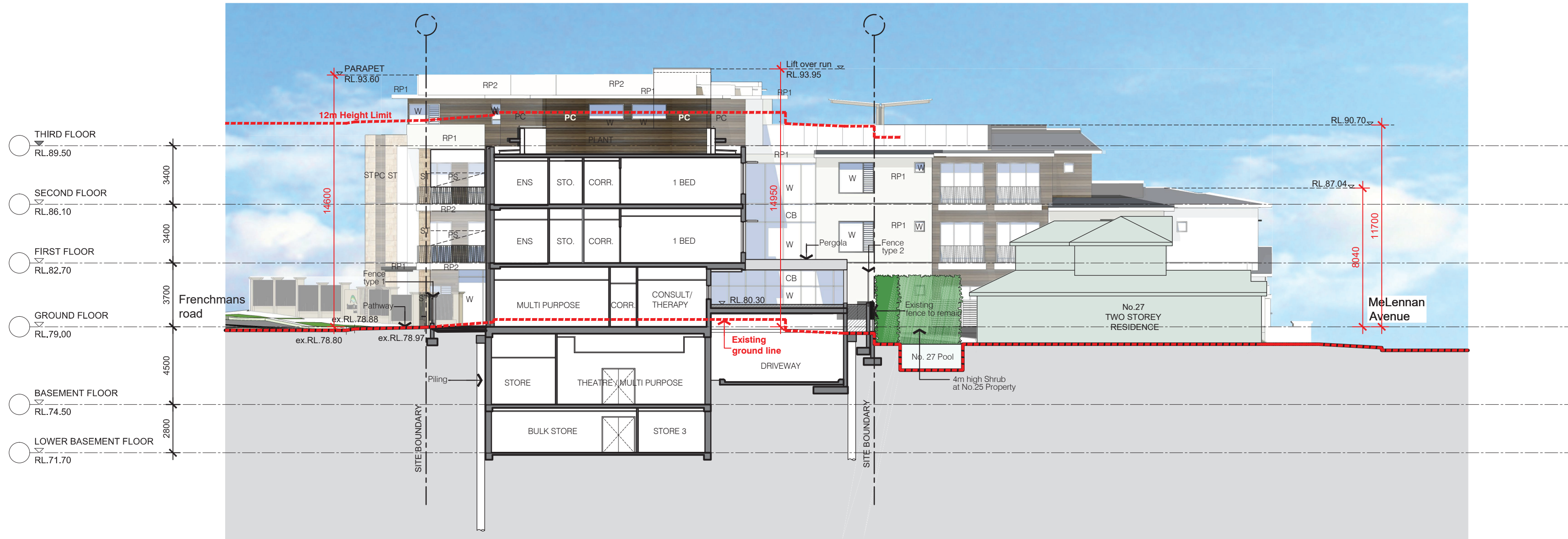
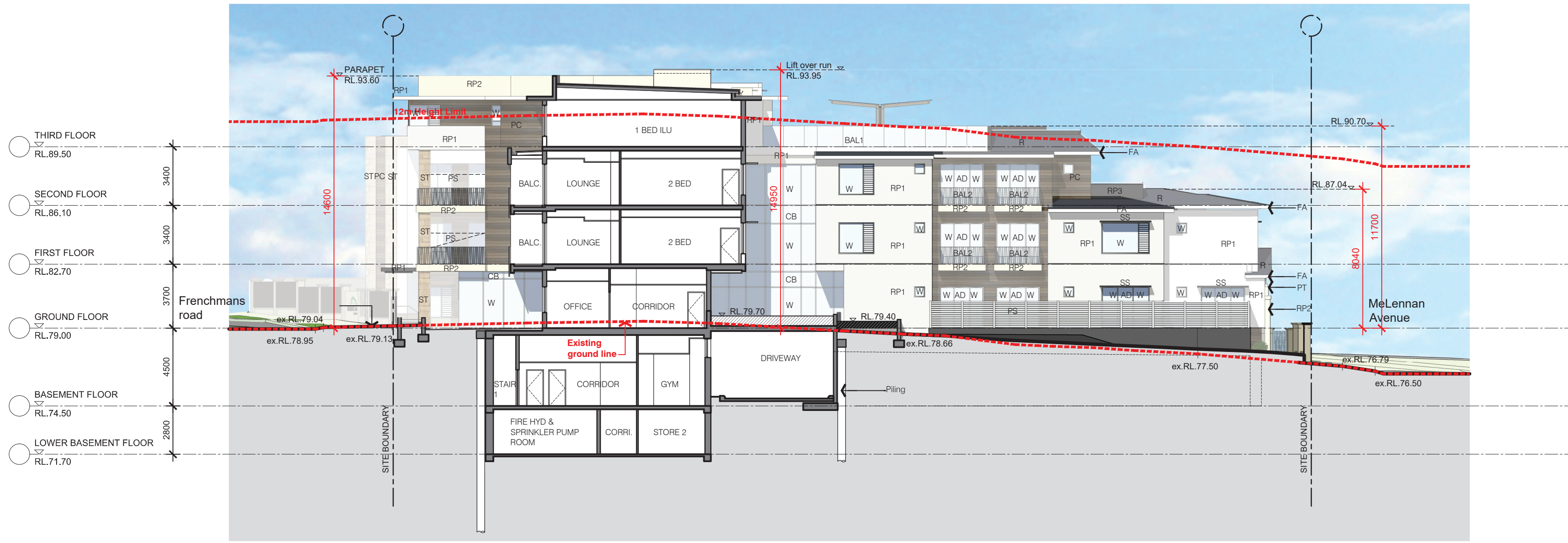
F1	1800H POWDER COATED STEEL BLADE SECURITY FENCE ON MASONRY WALL RENDERED AND PAINTED WITH 400 X400 X1950H MASONRY COLUMN POST RENDERED AND PAINTED FINISH
F2	1800H COLORBOND STEEL FENCING ON MASONRY WALL RENDERED AND PAINTED + EXISTING FENCE

NOTE:

ALL ENSUITE & SITTING ROOMS' WINDOWS TO BE OPENABLE WITH FLYSCREEN



KEY PLAN



0005175370 07 Jul 2021  
Assessor Tracey Cools  
Accreditation No. HERA 10033  
Address 11-19 Frenchmans Road, Randwick, NSW, 2031  
hstar.com.au

B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

Project  
FRENCHMANS LODGE  
11-15, 17 & 19 Frenchmans Road, RANDWICK  
Drawing  
SECTIONS (D, E, & F)



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Tel: (02) 9406 7000  
Fax: (02) 9406 7009  
Email: brgroup@brgr.net

Date	JAN 2019	Job No.	Drawing
Scale	AS SHOWN		
Drawn	WW		
Amendment	B		

0m 2 5 10 15m  
SCALE: 1:200 @ A1  
SCALE: 1:400 @ A3

1912/ DA11



#### LEGEND

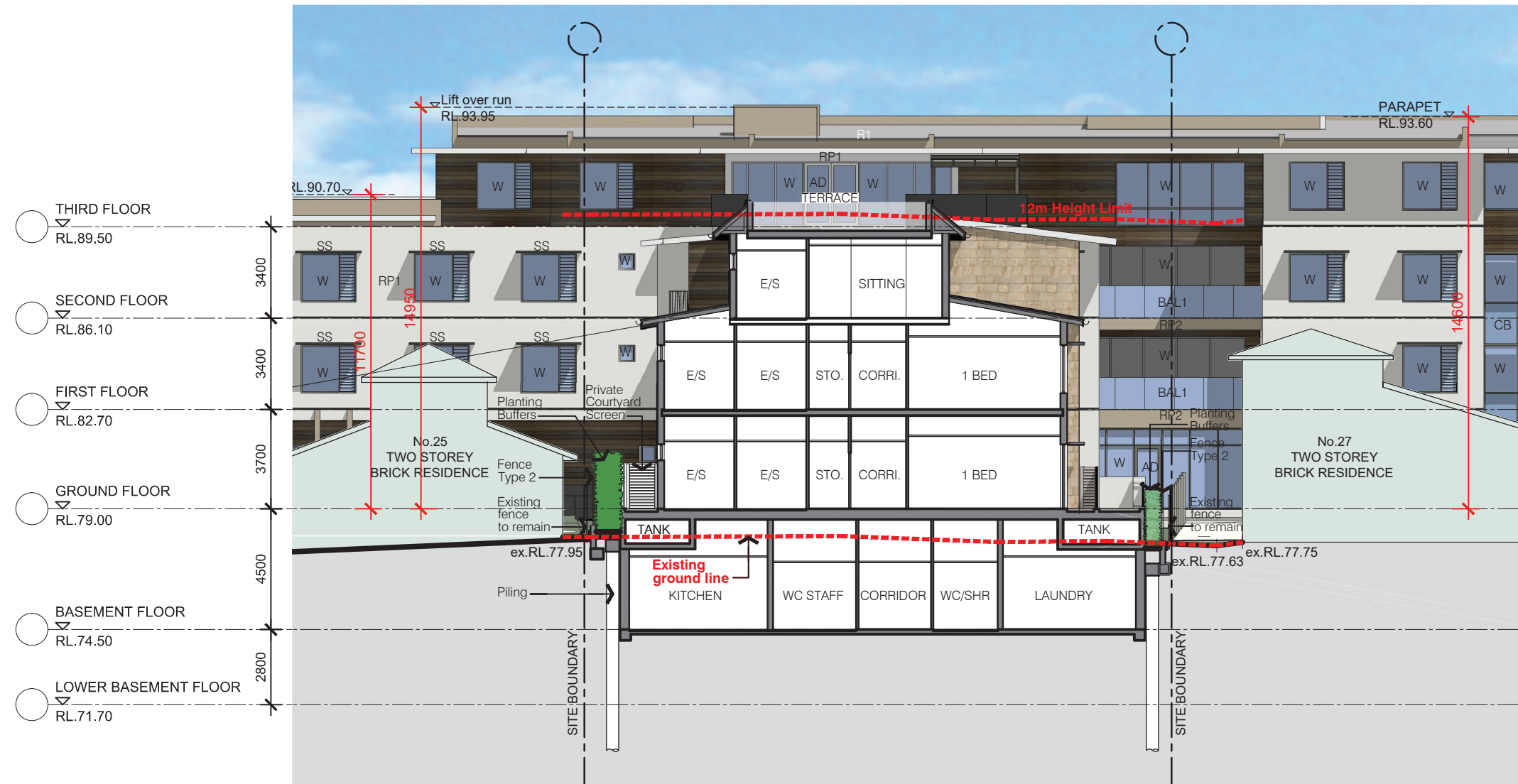
AD	ALUMINIUM FRAMED DOORS
BA1	BALUSTRADE - TYPE 1 (GLASS)
BA2	BALUSTRADE - TYPE 2 (DECORATIVE GRILLE)
CB	COLORBACK GLASS
EGL	EXISTING GROUND LINE
FA	FASCIA - COLORBOND SURFMIST OR SIMILAR
FGL	FINISHED GROUND LINE
GLV	GLASS LOUVRE
LV	LOUVRE - POWDER COATED
OW	OPENABLE WINDOW
PC	PREFINISHED CLADDING (TIMBER LOOK)
PS	1800H PRIVACY SCREEN
PT	PAINTED DECORATIVE TIMBER
R	ROOF GUTTER, DP - TYPE 1 (CORRUGATED COLORBOND, COLOR IRONSTONE)
RP1	RENDERED PAINTED WALL - COLOUR WHITE
RP2	RENDERED PAINTED WALL - COLOUR BEIGE
RP3	RENDERED PAINTED WALL - COLOUR GREY
RS	ROLLER SHUTTER
RW	RETAINING WALL - STONE CLADDING
SS	SUN SHADING
ST	STONE CLADDING
W	ALUMINIUM FRAMED WINDOWS

#### FENCE TYPES

F1	1800H POWDER COATED STEEL BLADE SECURITY FENCE ON MASONRY WALL RENDERED AND PAINTED WITH 400 X400 X1950H MASONRY COLUMN POST RENDERED AND PAINTED FINISH
F2	1800H COLORBOND STEEL FENCING ON MASONRY WALL RENDERED AND PAINTED + EXISTING FENCE

#### NOTE:

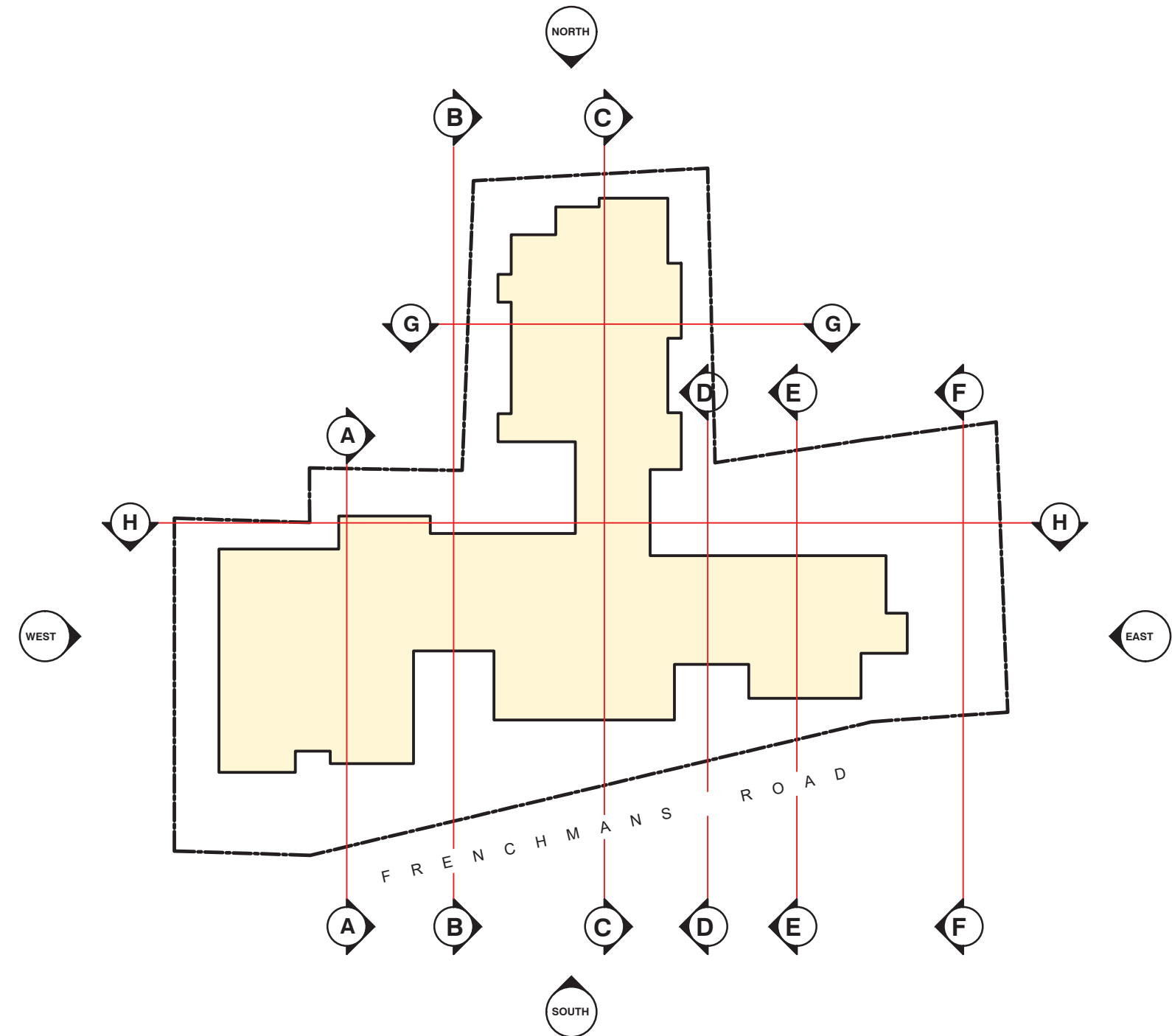
ALL ENSUITE & SITTING ROOMS' WINDOWS TO BE OPENABLE WITH FLYSCREEN



07 Section G  
Scale 1:200



08 Section H  
Scale 1:200



KEY PLAN

0m 2 5 10 15m  
SCALE: 1:200 @ A1  
SCALE: 1:400 @ A3



B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

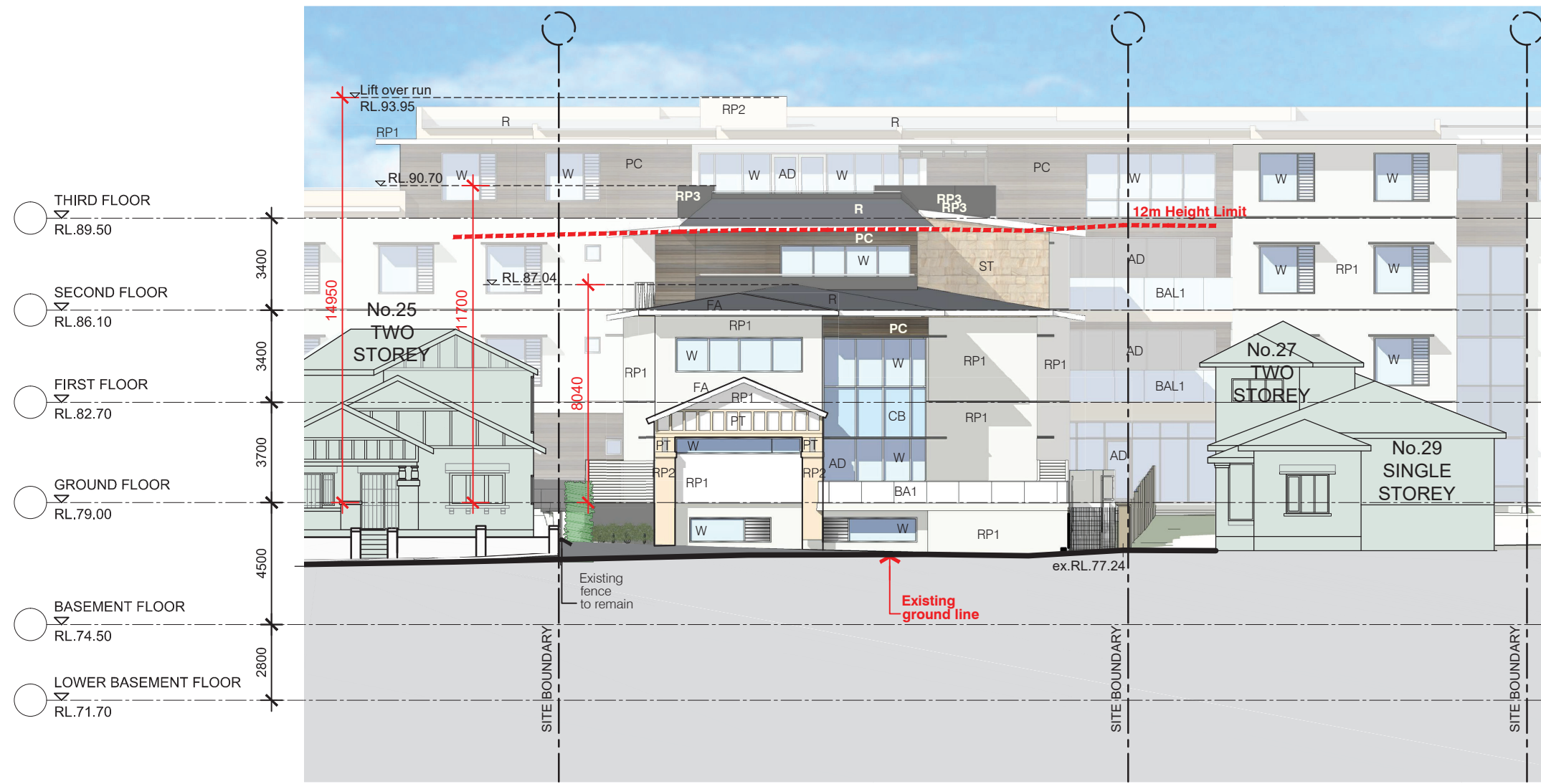
Project  
FRENCHMANS LODGE  
11-15, 17 & 19 Frenchmans Road, RANDWICK  
Drawing  
SECTIONS (G & H)



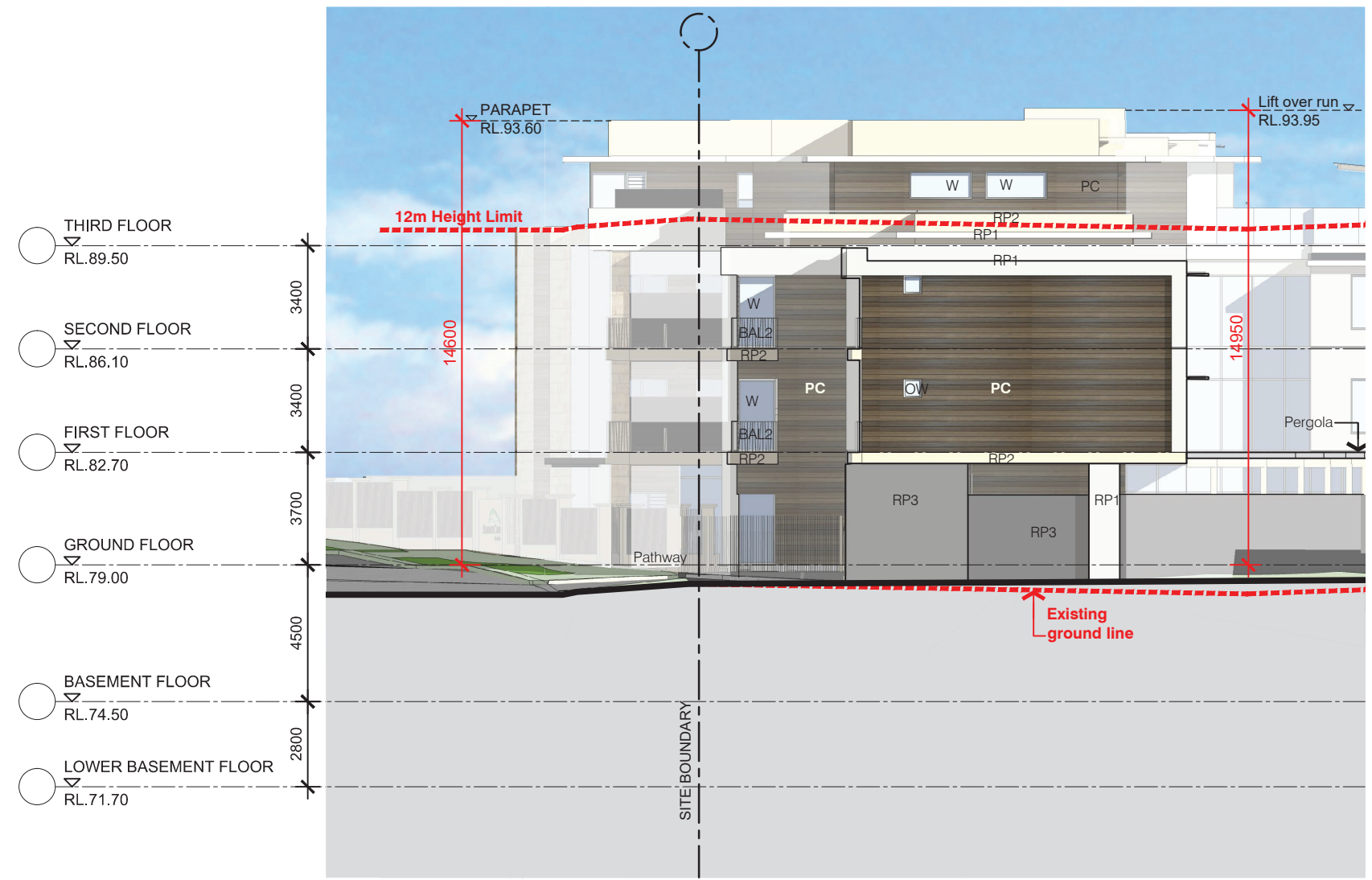
boffa robertson group  
architecture, health and aged care planning, project management  
boffa robertson group  
Suite 7, Level 1, Epica, 9 Railway Street  
Cherrywood NSW 2067  
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Email: brgroup@brgr.net

Date	NOV 2019	Job No.	Drawing
Scale	AS SHOWN		
Drawn	WW		1912/ DA12
Amendment	B		

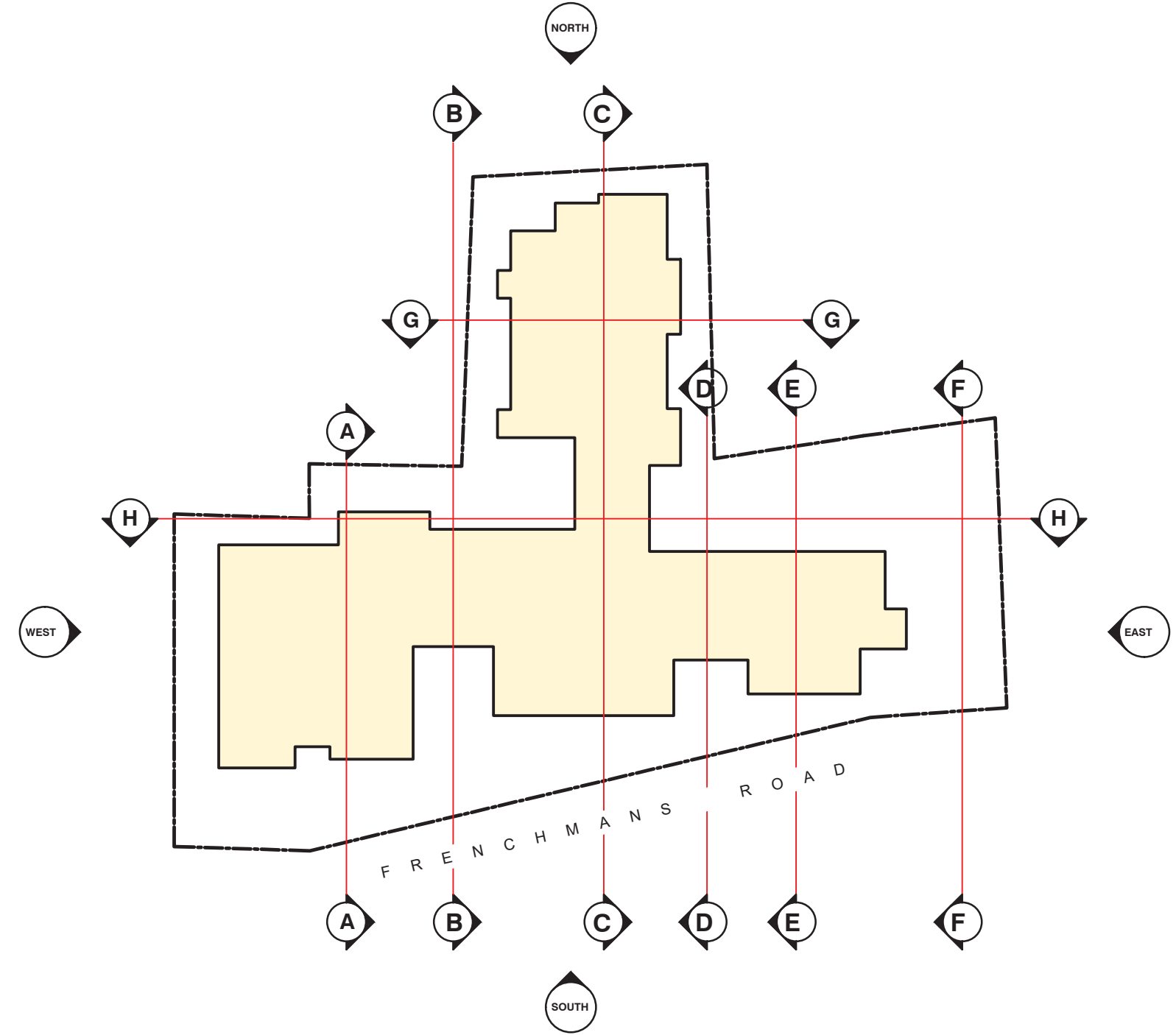




11 NORTH ELEVATION  
Scale 1:200



12 EAST ELEVATION  
Scale 1:200

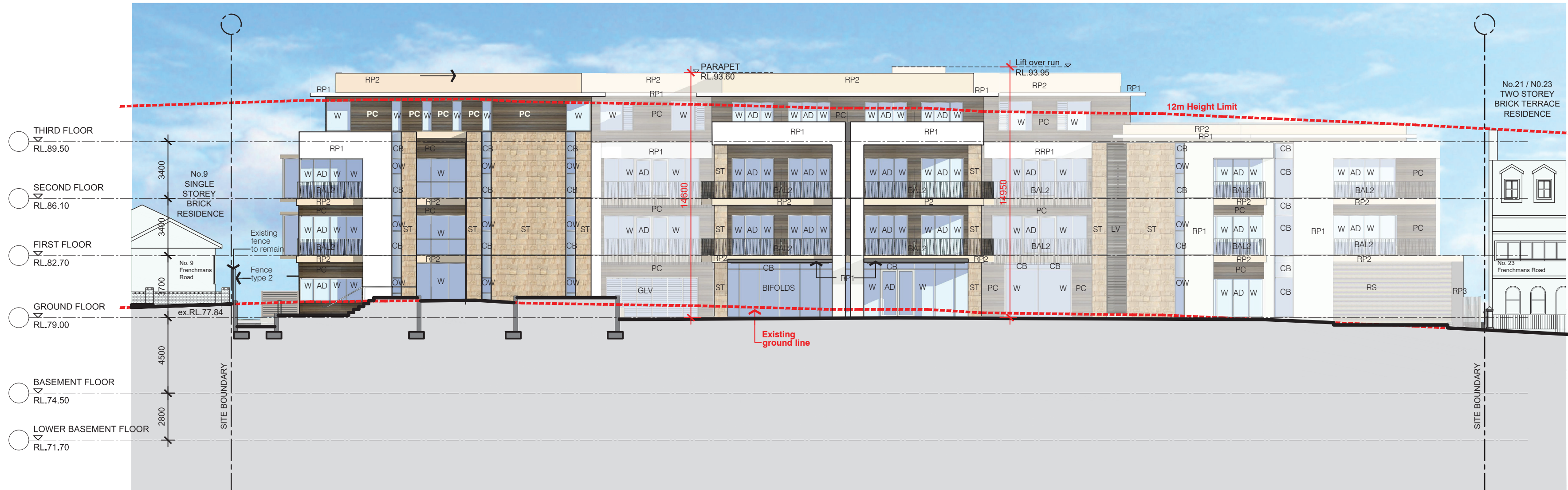


KEY PLAN

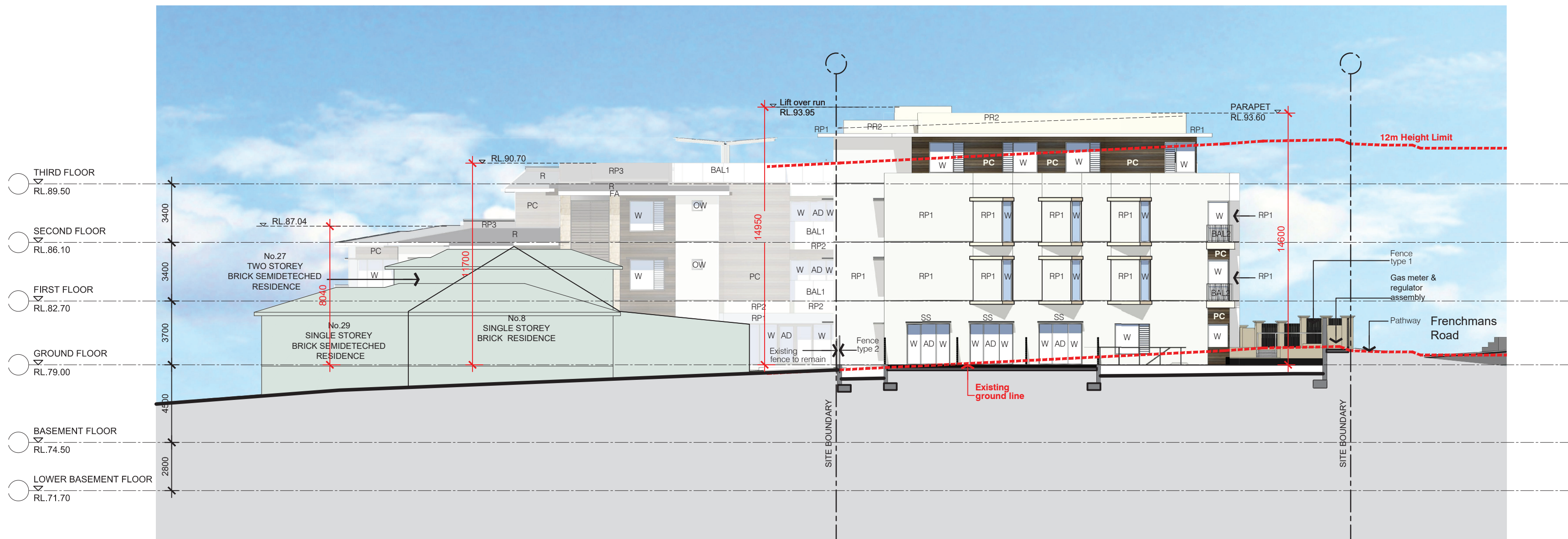
LEGEND	
AD	ALUMINIUM FRAMED DOORS
BA1	BALUSTRADE - TYPE 1 (GLASS)
BA2	BALUSTRADE - TYPE 2 (DECORATIVE GRILLE)
CB	COLORBACK GLASS
EGL	EXISTING GROUND LINE
FA	FASCIA - COLORBOND SURFMIST OR SIMILAR
FGL	FINISHED GROUND LINE
GLV	GLASS LOUVRE
LV	LOUVRE - POWDER COATED
OW	OPENABLE WINDOW
PC	PREFINISHED CLADDING (TIMBER LOOK)
PS	1800H PRIVACY SCREEN
PT	PAINTED DECORATIVE TIMBER
R	ROOF - GUTTER, DP - TYPE 1 (CORRUGATED COLORBOND, COLOR IRONSTONE)
RP1	RENDERED PAINTED WALL - COLOUR WHITE
RP2	RENDERED PAINTED WALL - COLOUR BEIGE
RP3	RENDERED PAINTED WALL - COLOUR GREY
RS	ROLLER SHUTTER
RW	RETAINING WALL - STONE CLADDING
SS	SUN SHADING
ST	STONE CLADDING
W	ALUMINIUM FRAMED WINDOWS

FENCE TYPES	
F1	1800H POWDER COATED STEEL BLADE SECURITY FENCE ON MASONRY WALL RENDERED AND PAINTED WITH 400 X400 X1950H MASONRY COLUMN POST RENDERED AND PAINTED FINISH
F2	1800H COLORBOND STEEL FENCING ON MASONRY WALL RENDERED AND PAINTED + EXISTING FENCE

**NOTE:**  
ALL ENSUITE & SITTING ROOMS' WINDOWS TO BE OPENABLE WITH FLYSCREEN



13 SOUTH ELEVATION  
Scale 1:200



14 WESTELEVATION  
Scale 1:200

0m 2 5 10 15m  
SCALE: 1:200 @ A1  
SCALE: 1:400 @ A3



B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

Project  
**FRENCHMANS LODGE**  
11-15, 17 & 19 Frenchmans Road, RANDWICK  
Drawing  
ELEVATIONS (North, East, South & West)



Date	JAN 2019	Job No.	Drawing
Scale	AS SHOWN		
Drawn	WW		
Amendment	B		

1912/ DA13



#### LEGEND

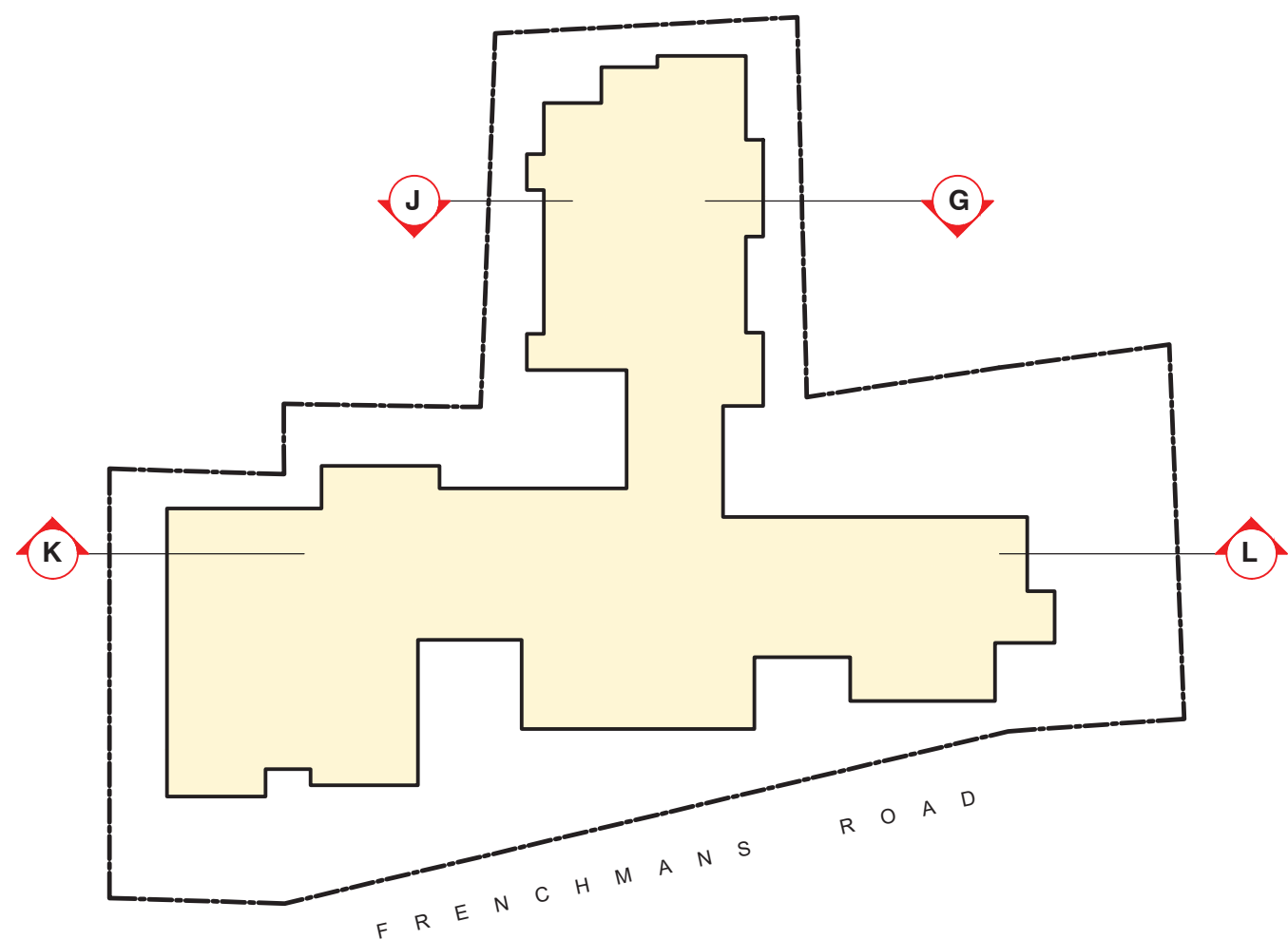
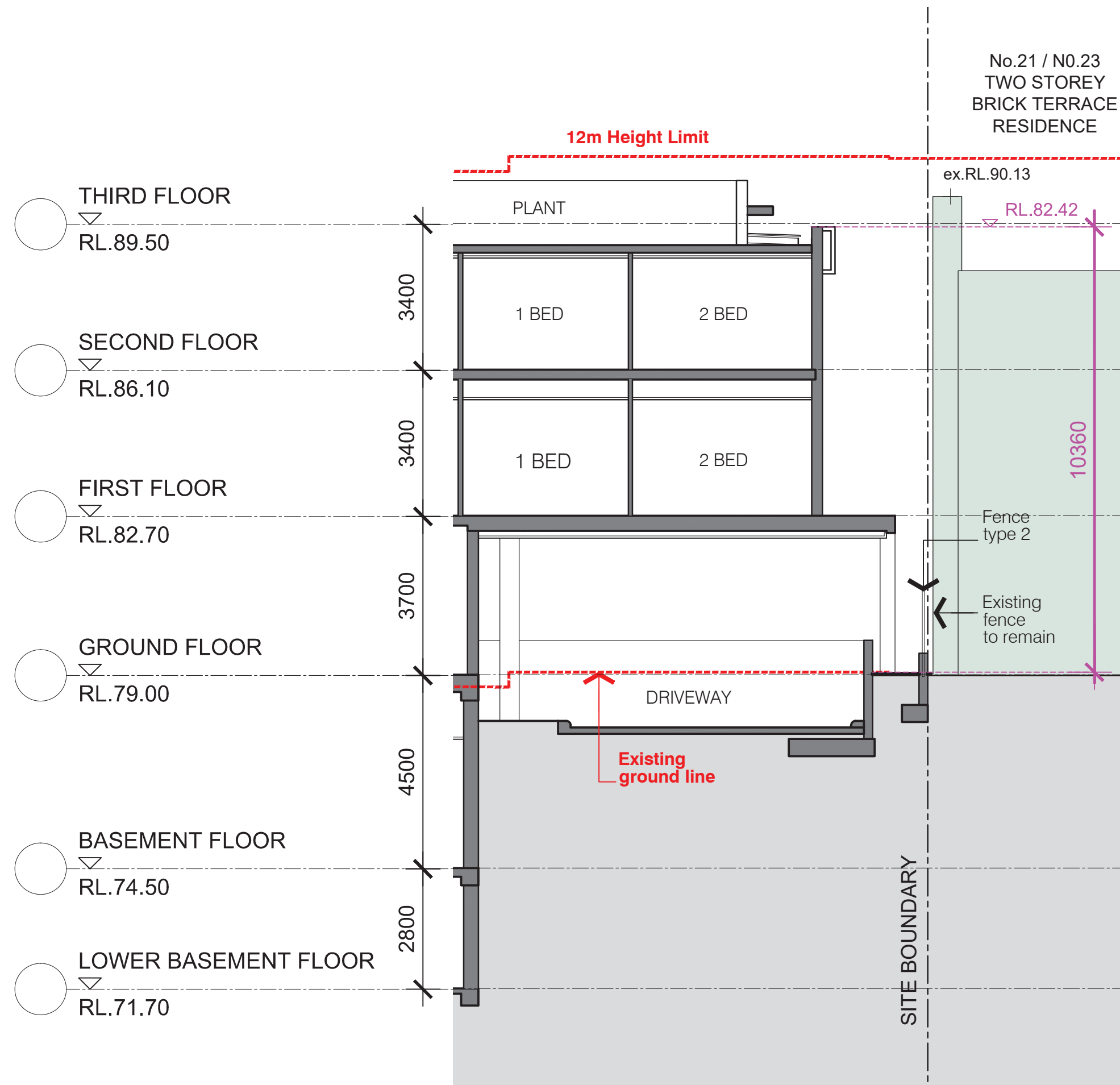
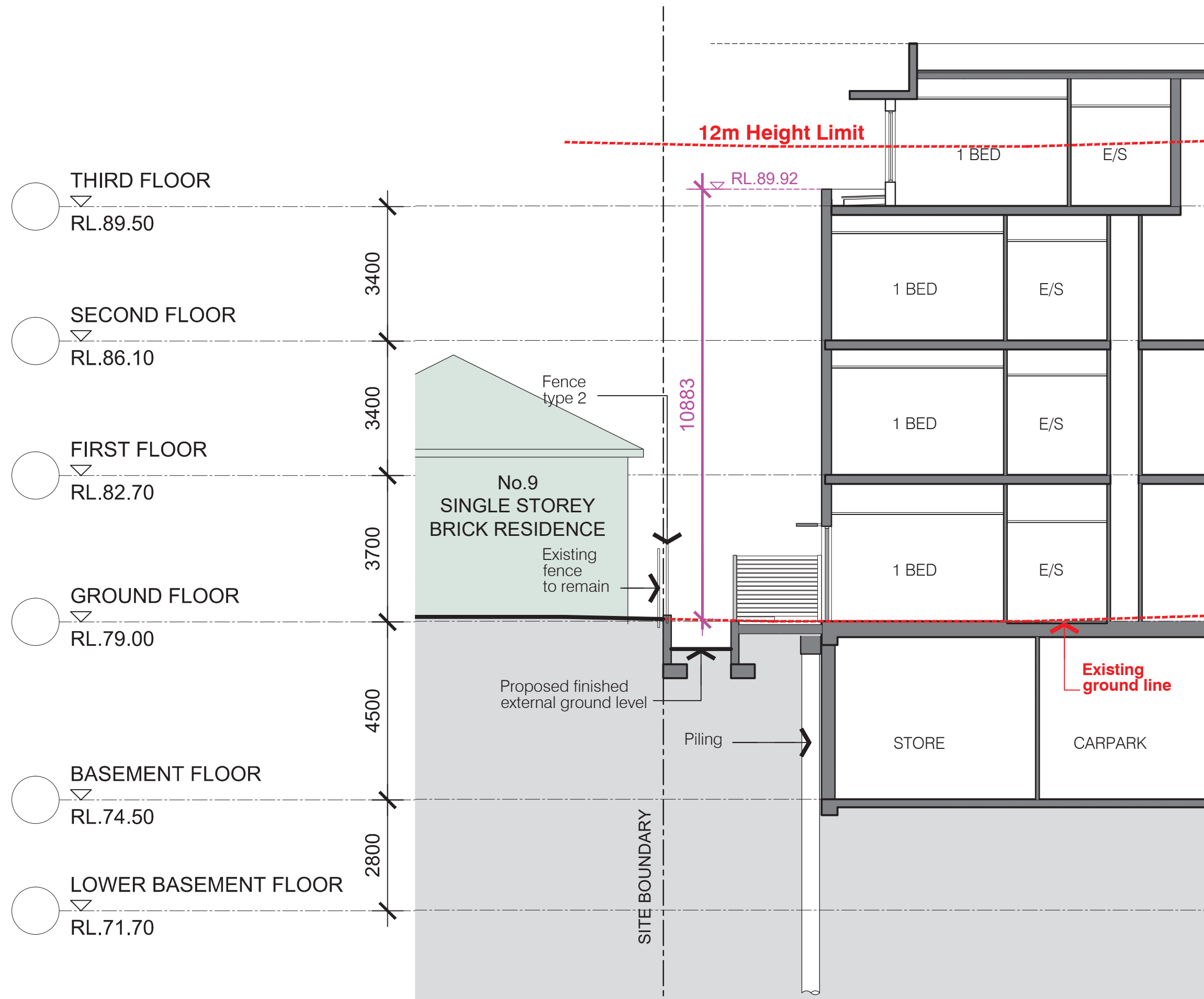
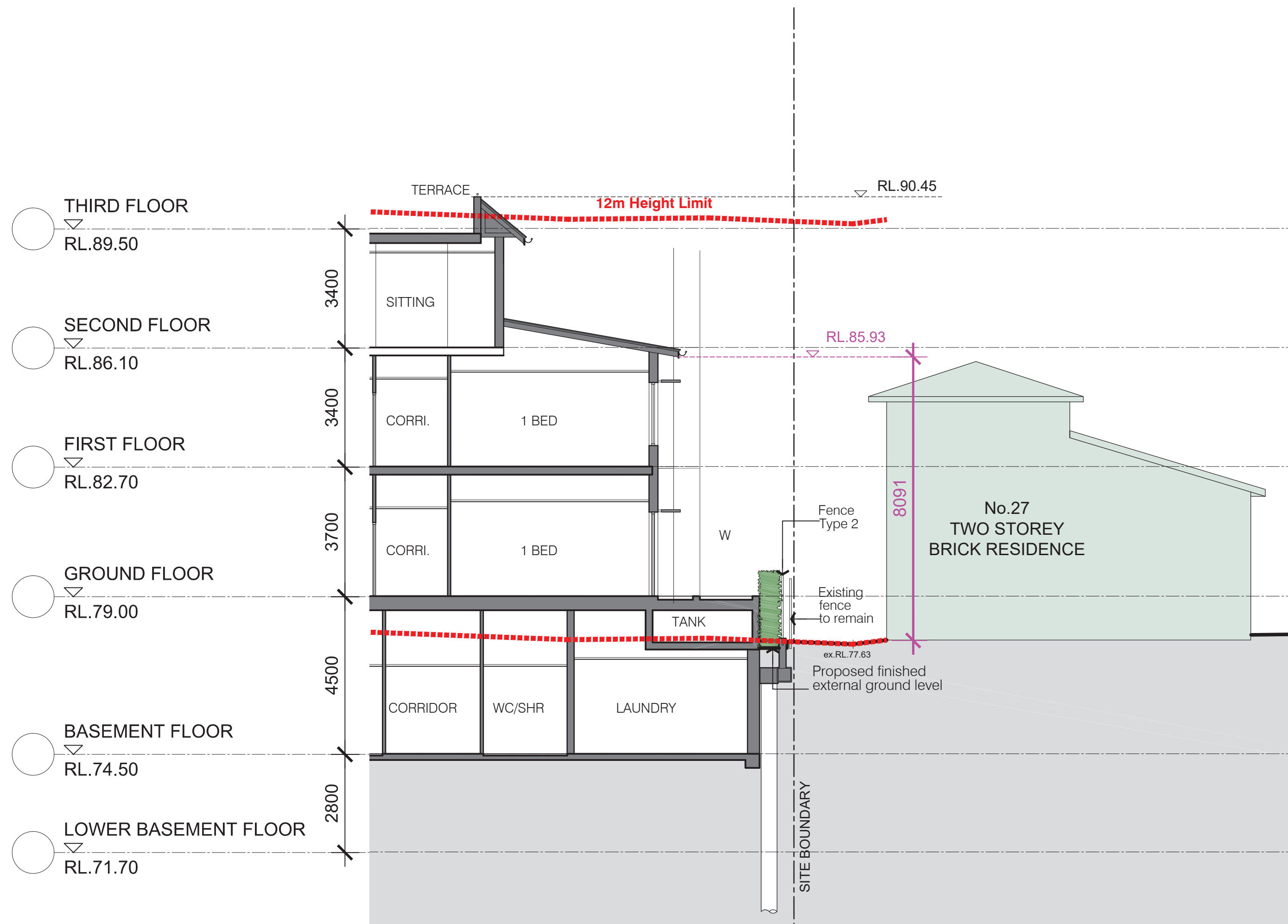
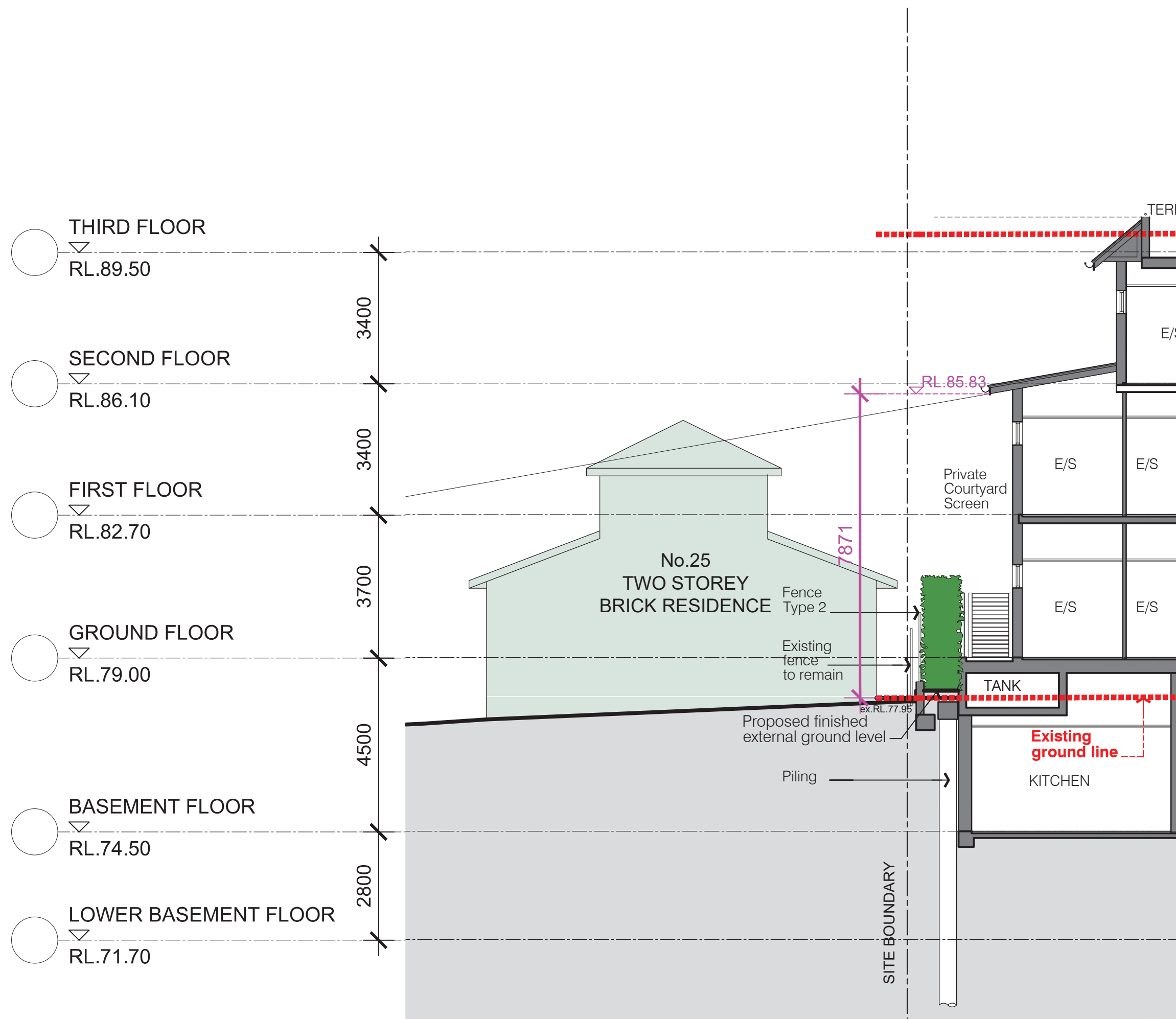
AD	ALUMINIUM FRAMED DOORS
BA1	BALUSTRADE - TYPE 1 (GLASS)
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CB	COLORBACK GLASS
EGL	EXISTING GROUND LINE
FA	FASCIA - COLORBOND SURFMIST OR SIMILAR
FGL	FINISHED GROUND LINE
GLV	GLASS LOUVRE
LV	LOUVRE - POWDER COATED
OW	OPENABLE WINDOW
PC	PREFINISHED CLADDING (TIMBER LOOK)
PS	1800H PRIVACY SCREEN
PT	PAINTED DECORATIVE TIMBER
R	ROOF- GUTTER, DP - TYPE 1 (CORRUGATED COLORBOND, COLOR IRONSTONE)
RP1	RENDERED PAINTED WALL - COLOUR WHITE
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RP3	RENDERED PAINTED WALL - COLOUR GREY
RS	ROLLER SHUTTER
RW	RETAINING WALL - STONE CLADDING
SS	SUN SHADING
ST	STONE CLADDING
W	ALUMINIUM FRAMED WINDOWS

#### FENCE TYPES

F1	1800H POWDER COATED STEEL BLADE SECURITY FENCE ON MASONRY WALL RENDERED AND PAINTED WITH 400 X400 X1950H MASONRY COLUMN POST RENDERED AND PAINTED FINISH
F2	1800H COLORBOND STEEL FENCING ON MASONRY WALL RENDERED AND PAINTED + EXISTING FENCE

#### NOTE:

ALL ENSUITE & SITTING ROOMS' WINDOWS TO BE OPENABLE WITH FLYSCREEN



#### KEY PLAN



0m 2 5 10 15m  
SCALE : 1: 100 @ A1  
SCALE : 1: 200 @ A3

A	Development Application Issue	01.06.2021
No.	Amendment	Date

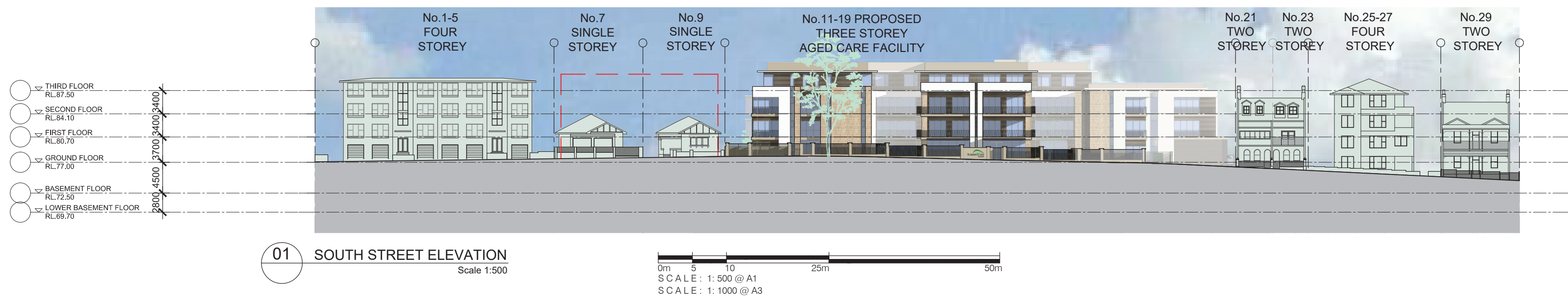
Project  
FRENCHMANS LODGE  
11-15, 17 & 19 Frenchmans Road, RANDWICK  
Drawing  
SECTIONS & BOUNDARY



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Date	JAN 2019	Job No.	Drawing
Scale	AS SHOWN		
Drawn	SS		1912/ DA13a
Amendment	A		





01 SOUTH STREET ELEVATION  
Scale 1:500



02 SOUTH STREET ELEVATION - PART 1  
Scale 1:200



03 SOUTH STREET ELEVATION - PART 2  
Scale 1:200



04 NORTH STREET ELEVATION  
Scale 1:200

B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

Project  
**FRENCHMANS LODGE**  
11-15, 17 & 19 Frenchmans Road, RANDWICK  
Drawing  
STREET ELEVATIONS PROPOSED



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architecture, health and aged care planning, project management  
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0005175370 07 Jul 2021  
Assessor Tracey Coles  
Accreditation No. HEFA10033  
Address  
11-19 Frenchmans Road,  
Randwick, NSW, 2031  
hstar.com.au

Date	JAN 2019	Job No.	Drawing
Scale	AS SHOWN		
Drawn	AL		
Amendment	B		





01 Frenchmans Road Street Elevation  
Proposed



02 Frenchmans Road Street Elevation  
Existing



03 Opposite side of Frenchmans Road Street Elevation  
Existing

B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

Project  
FRENCHMANS LODGE  
11-15, 17 & 19 Frenchmans Road, RANDWICK  
Drawing  
STREET ELEVATION @  
FRENCHMANS ROAD-PHOTOMONTAGE

**SUMMITCARE**  
boffa robertson group  
architecture, health and aged care planning, project management

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**NATIONWIDE HOUSE**  
0005175370 07 Jul 2021  
Assessor Tracey Coole  
Accreditation No. HERA10033  
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Randwick, NSW, 2031  
hstar.com.au

Date	JULY 2019	Job No.	Drawing
Scale	NTS @ A1		
Drawn	VI		2017 / DA15
Amendment	B		





01 McLennan Avenue Street Elevation  
Proposed



02 McLennan Avenue Street Elevation  
Existing



03 View from Chapel Street  
Proposed



04 View from Chapel Street  
Existing

B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

Project  
FRENCHMANS LODGE  
11-15, 17 & 19 Frenchmans Road, RANDWICK  
Drawing  
STREET ELEVATION @  
MCLENNAN AVENUE -PHOTOMONTAGE



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The logo for Natationwide House, featuring a stylized house icon with a blue roof and the text 'NATATIONWIDE HOUSE' in green.

0005175370 07 Jul 2021

Assessor: Tracey Cools  
Accreditation No. HERA10033  
Address  
11-19 Frenchmans Road,  
Randwick, NSW, 2031

A QR code located at the bottom right of the Natationwide House logo block.

hstar.com.au

A small circle logo with a stylized 'b' and 'r' inside.	Date	JULY 2019	Job No.	Drawing
	Scale	NTS @ A1	2017 / DA16	
	Drawn	VI		
	Amendment	B		