PROPOSED

RESIDENTIAL CARE FACILITY

11-19 Frenchmans Road, Randwick, NSW

Drawing List

DWG. No. Drawing Title	Scale	Size
DA00 - Cover Page	NTS	A1
DA01 - Site Plan	1:200	A 1
DA02 - Site Analysis	1:200	A1
DA02a - Site Analysis - Locality Plan	NTS	A1
DA02b - View Analysis - Site Location	NTS	A1
DA03 - Lower Basement Floor Plan	1:200	A1
DA04 - Basement Floor Plan	1:200	A1
DA05 - Ground Floor Plan	1:200	A1
DA06 - First Floor Plan	1:200	A1
DA07 - Second Floor Plan	1:200	A1
DA08 - Third Floor Plan	1:200	A1
DA09 - Roof Plan	1:200	A1
DA10 - Sections (A,B & C)	1:200	A1
DA11 - Sections (D, E & F)	1:200	A1
DA12 - Section (G & H)	1:200	A1
DA13 - Elevations (North, East, South & West)	1:200	A1
DA10a Castiana @ Dayundami	1 100	A 4



DATO - Lievations (North, Last, Coutif & West)	1.200	\wedge 1			
DA13a - Sections @ Boundary	1:100	A1			
DA14 - Street Elevations Proposed	1:200	A1			
DA15 - Street Elevation @ Frenchmans Road - Photomontage	NTS	A1	DA19 - Solar Access Diagrams	NTS	A1
DA16 - Street Elevation @ McLennan Avenue - Photomontage	NTS	A1	DA19a - Solar Access Diagrams	NTS	A1
DA17 - Shadow Diagrams Existing & Proposed (21 June 8am. & 12 pm.)	1:500	A1	DA19b - Solar Access Diagrams	NTS	A 1
DA17a - Shadow Diagrams Existing & Proposed (21 June 9am. & 3 pm.)	1:500	A1	DA19c - Solar Access Diagrams	NTS	A 1
DA18 - Shadow diagrams Existing & Proposed (21 June 4 pm.)	1:500	A1	DA20 - Gross Floor Area Diagram - Ground Floor Plan	1:200	A1
DA18a - Direct Sun Analysis(21 June 8 am.)	NTS	A1	DA21 - Gross Floor Area Diagram - First Floor Plan	1:200	A1
DA18b - Direct Sun Analysis(21 June 9 am.)	NTS	A1	DA22 - Gross Floor Area Diagram - Second Floor Plan	1:200	A1
DA18c - Direct Sun Analysis(21 June 12 pm.)	NTS	A1	DA23 - Gross Floor Area Diagram - Third Floor Plan	1:200	A1
DA18d - Direct Sun Analysis(21 June 3 pm.)	NTS	A1	DA23a - Gross Floor Area Diagram - Basement Floor Plan	1:200	A1
DA18e - Direct Sun Analysis(21 June 4 pm.)	NTS	A1	DA24 - Demolition Plan	1:200	A1
DA18f - 3D Image Showing Built form penetrating 12m Height	NTS	A1	DA24a - Landscape and Deep Soil Areas	NTS	A1



11-19 Frenchmans Road, Randwick, NSW

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boffarobertson group

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DEVELOPMENT APPLICATION RE-ISSUE 01.06.2021

2017 DA00



SCALE: 1: 200 @ A1 SCALE: 1:400@A3 This document, information and design concepts shown in it are copyright to Boffa Robertson Group. Any inconsistencies between drawn information and current Codes and Standards are to be notified immediately.

521.6 1,557.2 1,233.1 1,300.6 1,157.3	m² 2 m² 1 m² 6 m²	AREA	S FLOOR (VERTICA GE) - 83.0 m ² 737.3 m ² 1,151.1 m ²	
521.6 d 1,557.2 1,233.2 1,300.6 1,157.3	m² 2 m² 1 m² 6 m²	GROS AREA VILLA	S FLOOR (VERTICA GE) - 83.0 m ² 737.3 m ² 1,151.1 m ²	
1,557.2 1,233. 1,300.6 1,157.3	2 m ² 1 m ² 6 m ²		737.3 m² 1,151.1 m²	
1,233. 1,300.6 1,157.3	1 m² 6 m²		737.3 m² 1,151.1 m²	
1,300.6 1,157.3	6 m²		1,151.1 m²	
1,157.3				
-	3 m²		4 0 4 0 0 2	
593.			1,012.0 m ²	
	5 m²		558.0 m²	
6,363.3 m²			3,458.4 m²	
			1.276 : 1	
AMBULANG	CE	19+1=	: 20 spaces	
EA		1,157.	2 m²	
EA PER BE	ΞD	13.46	m²	
MMODAT	ION			
1 BED	2	BED	TOTAL	
16		0	16	
24		4 x 2	32	
21	3 x 2		27	
11		0	11	
OF THIRD	FL.	ILUs	= 2	
OF BEDS			= 86	
	AMBULANG EA EA PER BI DMMODAT 1 BED 16 24 21 11 OF THIRD	AMBULANCE EA EA PER BED DMMODATION 1 BED 2 16 24 21 11 OF THIRD FL.	AMBULANCE 19+1= EA 1,157. EA PER BED 13.46 DMMODATION 1 BED 2 BED 16 0 24 4 x 2 21 3 x 2 11 0 OF THIRD FL. ILUS OF BEDS	

EVELOP	MENT	ST	ATIS	TIC	L	EGE	ND	
TE AREA				2,709.7 m²				PROPOSED RCF
	BCA FLOOR AR	FΔ	SEPP	2004 S FLOOR	-			BOUNDARY
	LOOKAK		AREA VILLA	(VERTICAL				SOFT LANDSCAPE
WER	521.6	m²		-				HARD LANDSCAPE
SEMENT.FL.					-	00		FENCE TYPE 1
SEMENT.FL.	1,557.2	2 m²		83.0 m²	_	oo		FENCE TYPE 2
ROUND FL.	1,233.	1 m²		737.3 m²	+	ex RL	.76.80	EXISTING LEVEL RL.
RST FL.	1,300.6	6 m²		1,151.1 m²	+	- RL.7	6.80	NEW FINISHED LEVEL RL.
COND FL.	1,157.3	3 m²		1,012.0 m ²				PROPOSED TOP OF
IRD FL.	593.	5 m²		558.0 m²	+	TOW	/ RL.	WALL LEVEL
TAL	6,363.3	3 m²		3,458.4 m²	_			LOWER GROUND FLOOR
R				1.276 : 1	-			BASEMENT FLOOR
RPARKING / AMBULANCE		CE	19+1= 20 spaces		-			FIRST FLOOR
NDSCAPE AREA			1,157.2 m²		-			SECOND FLOOR
NDSCAPE AREA PER BED		ΞD	13.46m²		-			THIRD FLOOR
SIDENT ACC	OMMODAT	ION						PROPOSED ROADS AND DRIVEWAYS
	1 BED	2	BED	TOTAL			7	
ROUND FL.	16		0	16		(•	}	EXISTING TREES TO REMAIN
RST FL.	24		4 x 2	32			У <u> </u>	
COND FL.	21		3 x 2	27		1	-2	EXISTING TREES TO BE
IRD FL.	11		0	11		(, ,	\ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \	REMOVED
TAL NUMBER	R OF THIRD	FL.	ILUs	= 2			./ 7.	
TAL NUMBEI	R OF BEDS			= 86		{ .	3	NEW TREES
TAL NUMBEI	R OF ROOM	IS	77	+ 2 = 79		(Z	کری	
					F	1		1800H POWDER COATED STEEL BLADE SECURITY FENCE ON

BASIX and Thermal Comfort Inclusions SummitCare Randwick (11-19 Frenchmans Road, Randwick)

MASONRY WALL RENDERED AND

PAINTED WITH 400 X400 X1950H

RENDERED AND PAINTED FINISH

MASONRY COLUMN POST

1800H COLORBOND STEEL FENCING & RETAINING WALL

1800H COLORBOND STEEL

FENCING + EXISTING FENCE

+ EXISTING FENCE

+ EXISTING FENCE

FRENCHMANS ROAD AND Mc LENNAM AVENUE

BOUNDARIES TO REMAIN. NEW FENCING TO BE BUILT INSIDE THE BOUNDARY ADJACENT

- ALL EXISTING FENCING EXCEPT FOR

Floors Concrete between levels, no insulation required

Walls External walls: Lightweight Cladding with R2.0 insulation (insulation only value)

External colour Medium (0.475<SA<0.7)

Inter-tenancy walls: Minimum 75mm Hebel Power Panel to walls adjacent to neighbours and hallways, no insulation required

Plasterboard on studs Windows Glazed windows ILU 1:

Internal walls (within units):

U-value: 6.70 (equal to or lower than) SHGC: 0.70 (±10%)

Glazed windows ILU 2:

U-value: 4.80 (equal to or lower than) SHGC: 0.59 (±10%) Given values are AFRC total window system values (glass and frame)

Roof & Ceilings Metal roof with foil backed blanket (Ru1.3 and Rd1.3) Plasterboard ceiling with R3.0 insulation (insulation only value) to where roof is above

Dark (SA > 0.7)

Note: Loss of ceiling insulation due to penetrations from down lights have been accounted for in accordance with BCA Technical Note 2 and Sealed LED down lights at a maximum of one every 2.5m2 Floor coverings Tiles throughout

Hot water system Central gas-fired boiler with R1.0 (~38mm) insulation to ring main and supply risers Fixtures Showerheads: 4.0 star medium flow (>6.0L but <=7.5L/min) Toilets: 4.0 star Kitchen taps: 5.0 star

Bathroom vanity taps: 5.0 star

0005175370 07 Jul 2021

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Assessor Tracey Cools Accreditation No. HERA10033

11-19 Frenchmans Road,

Randwick, NSW, 2031

Cooling systems Ceiling fans + single phase air conditioning to living areas and bedrooms: Min. 2 star Heating systems
Appliances

Ceiling fans + single phase air conditioning to living areas and bedrooms: Min. 2 star
Dish washer: 3.0 star water & 4.0 star energy rating Common clothes washer: 4.0 star water & 3.5 star energy rating

Common clothes dryer: 2.0 star energy rating

Refrigerator: 3.5 star energy rating
Ventilation in units Kitchen– Individual fan, externally ducted to façade, manual on/off switch Bathrooms - Individual fan, externally ducted to façade, manual on/off switch

Laundry- Individual fan, externally ducted to façade, manual on/off switch

Other Electric cooktop & electric oven

В	Development Application Re-Issue	01.06.2021			
A	Development Application Re-Issue	14.05.2021			
No.	Amendment	Date			
Proje	Project				

SUMMIT CARE

11-19 Frenchmans Road, Randwick

Drawing SITE PLAN

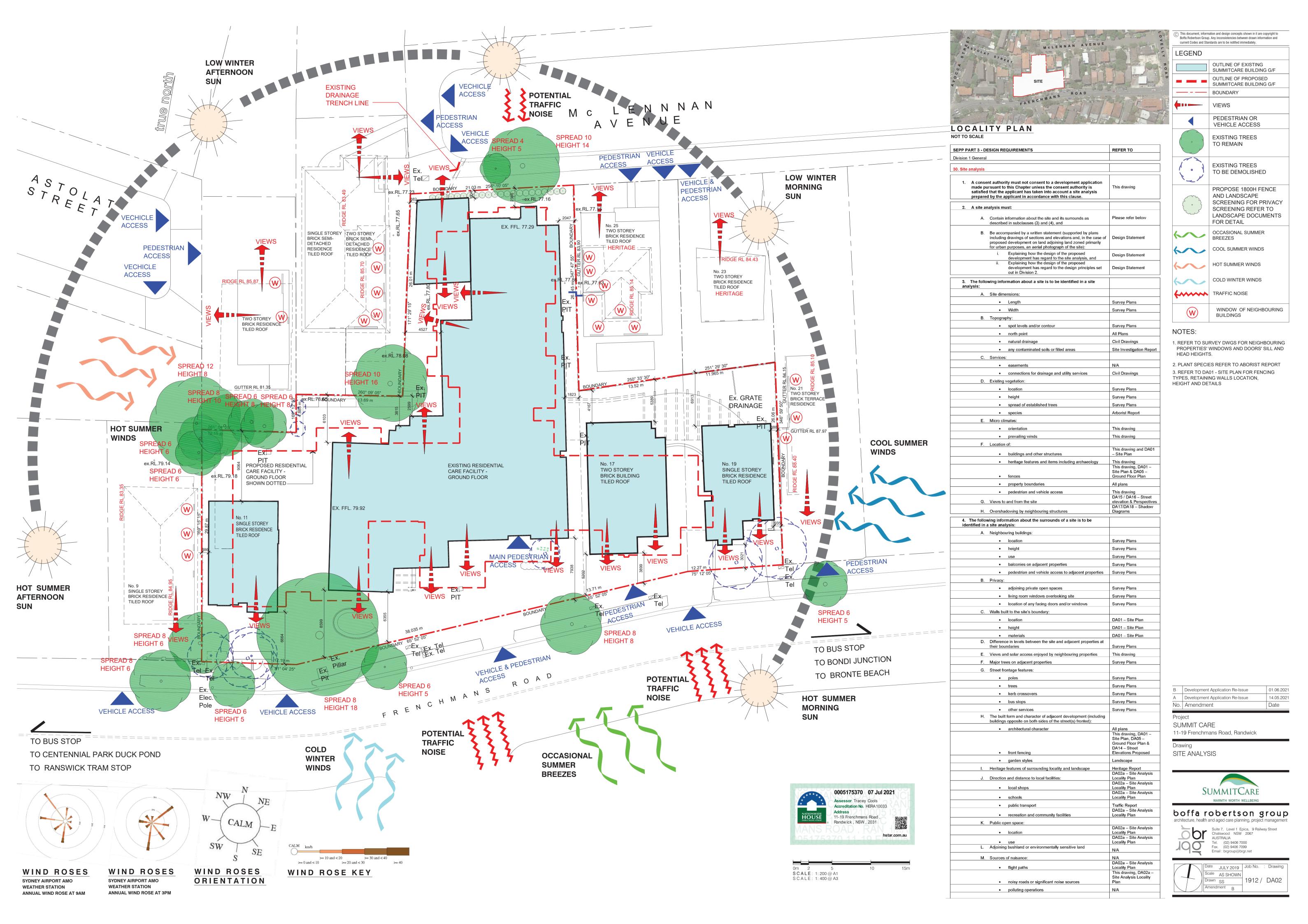


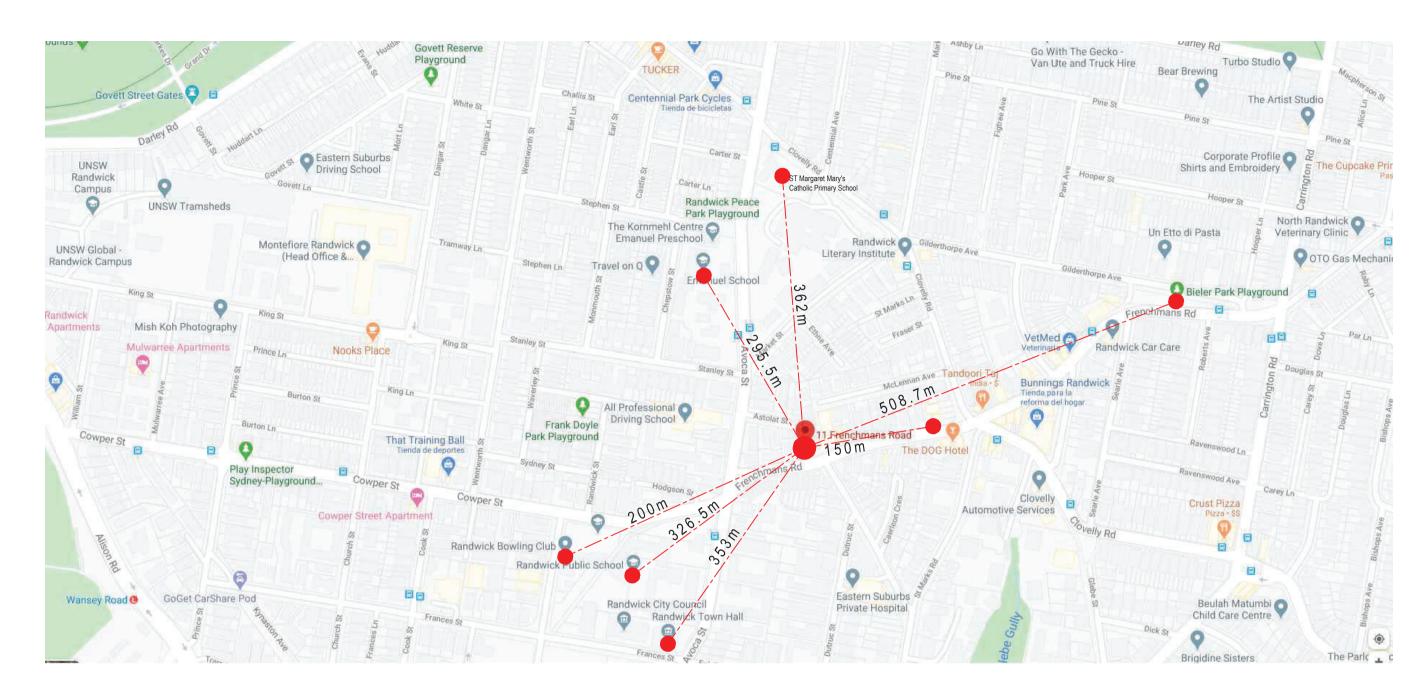
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Tel. (02) 9406 7000 Fax. (02) 9406 7099 Email: brgroup@brgr.net JAN 2019 Job No. : Drawing

Scale AS SHOWN 1912 / DA01

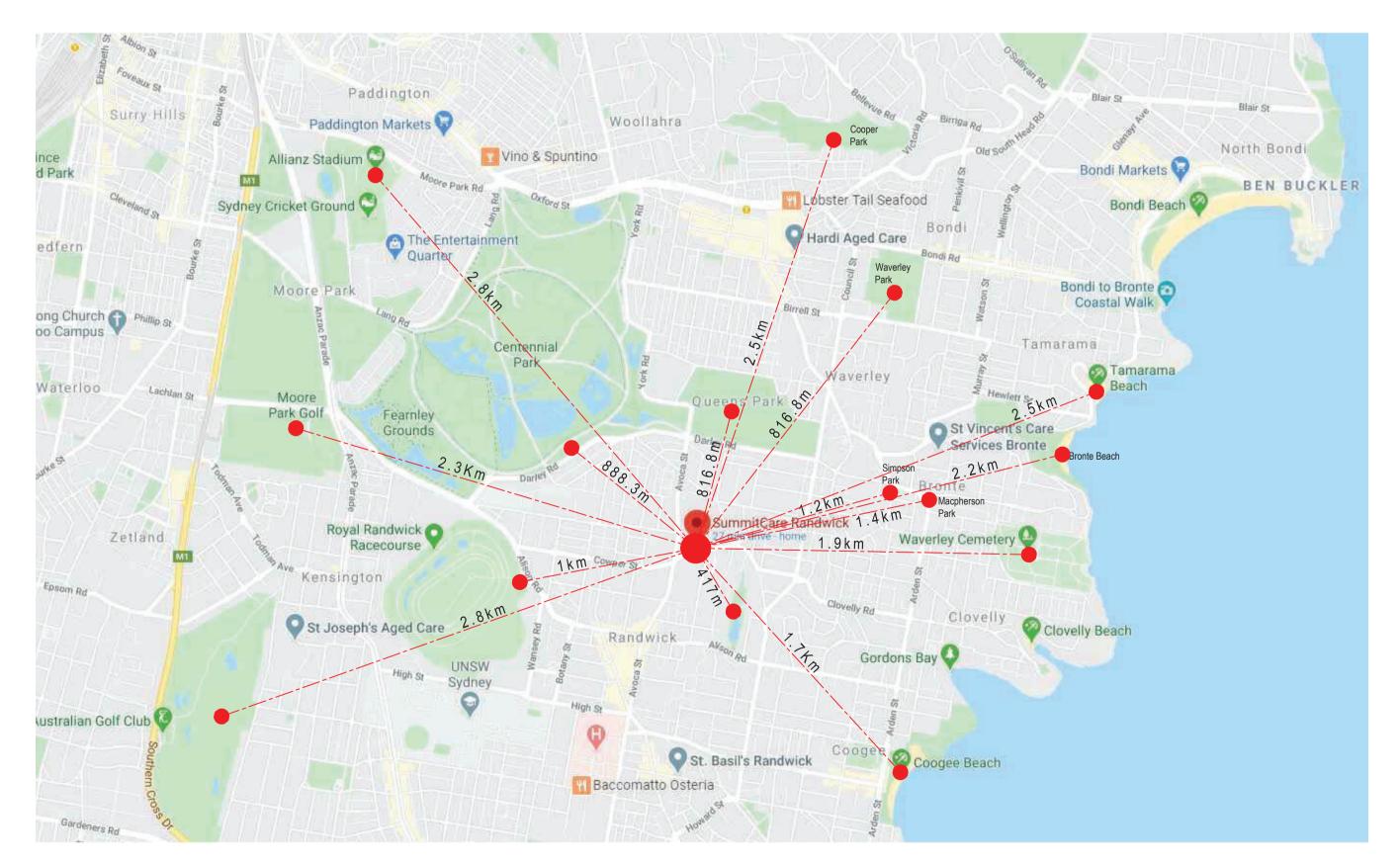




Bondi to Bronte O Hillsong Church Waterloo Campus Centennial Park Tamarama Beach Waterloo Moore Park Golf Fearnley Queens Park Royal Randwick Racecourse Alexandria Kensington & Beaconsfield Eps Clovelly Beach UNSW Sydney stralian Golf Club FLIGTH Prince Of Wales Hospital PATH South Coogee

DIRECTIONS & DISTANCES TO LOCAL FACILITY PLAN

FLIGTH PATH PLAN



MCLENNAN AVENUE

MCLENNAN AVENUE

SITE

ROAD

READ

READ

READ

PUBLIC OPEN SPACE PLAN

LOCATION PLAN



	Development Application Re-Issue	01.06.2021
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Ο.	Amendment	Date
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Project
SUMMIT CARE

11-19 Frenchmans Road, Randwick

SITE ANALYSIS - LOCALITY PLAN

SUMMITCARE
WARMTH WORTH WELLBEING

architecture, health and aged care planning, project management

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Date JULY 2019
Scale AS SHOWN
Drawn SS
Amendment B

Date JULY 2019
Job No. : Drawing
1912 / DA02a



A Development Application Issue 01.06.2021

No. Amendment Date

Project
SUMMIT CARE
11-19 Frenchmans Road, Randwick

Drawing
VIEW ANALYSIS SITE LOCATION

SUMMITCARE
WARMTH WORTH WELLBEING

boffa robertson group architecture, health and aged care planning, project management

Suite 7, Level 1 Epica, 9 Railway Street
Chatswood, NSW, 2067

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AUSTRALIA
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Email : brgroup@brgr.net

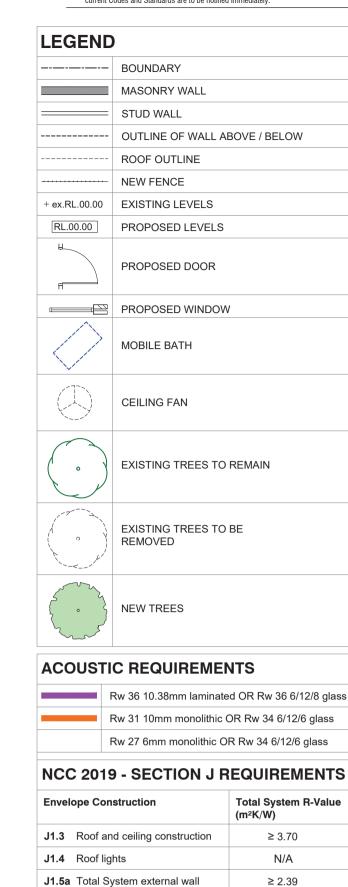
Date JULY 2019
Scale AS SHOWN
Drawn
1912 / DA02b

2





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construction (all facades)

unconditioned areas) J1.6a Floor construction

J1.5b Total System internal wall

(above an unconditioned zone) J1.6b Floor construction

Glazing - Frame Orientation

J1.5c Total Window All facades

(concrete slab on ground)

Construction

(Uniform solution)

Frame construction

construction (between conditioned &

≥ 1.00

≥ 2.00

No insulation required

≤ 4.00



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SUMMIT CARE

11-19 Frenchmans Road, Randwick

LOWER BASEMENT FLOOR PLAN

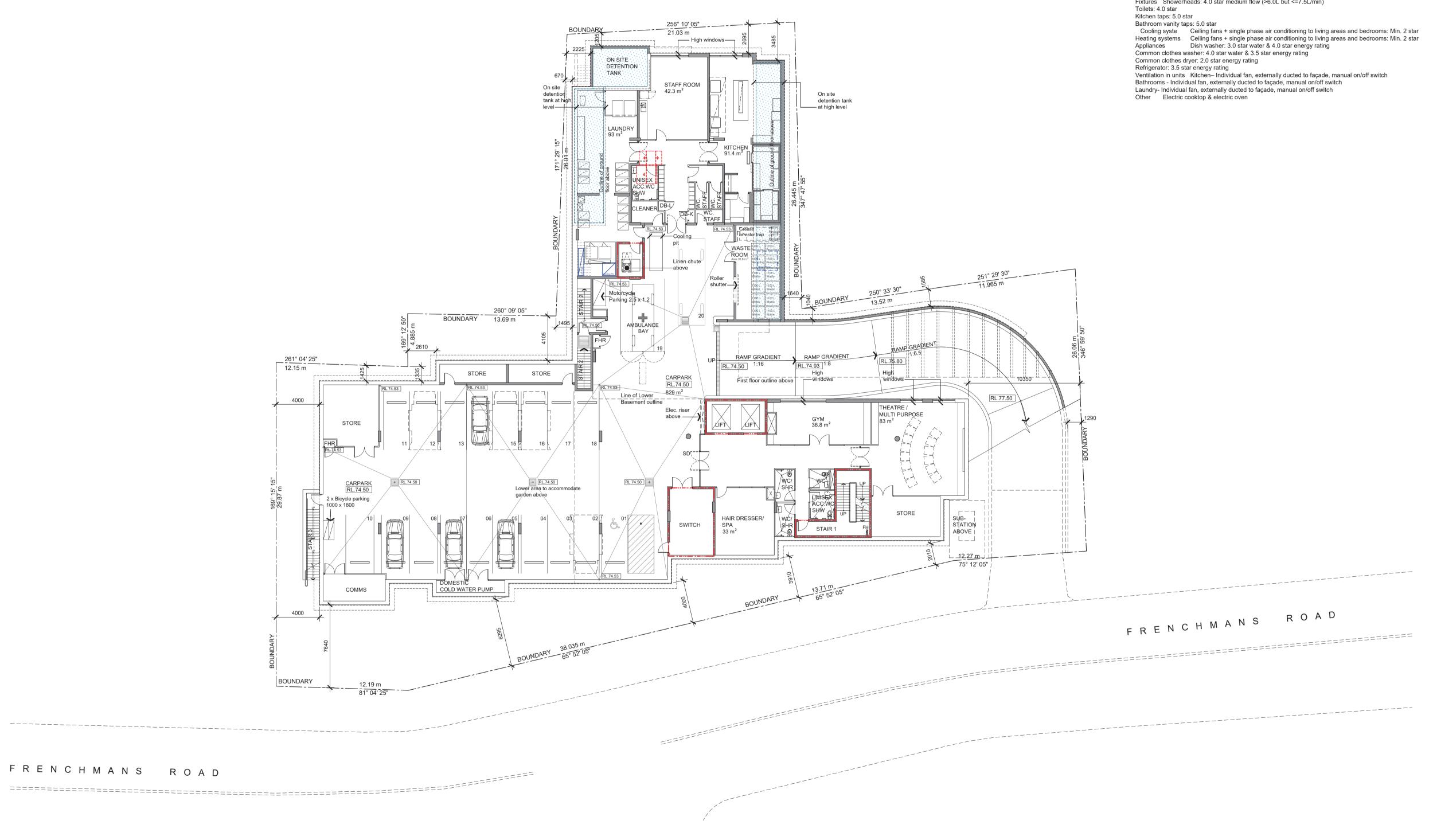
SUMMITCARE WARMTH WORTH WELLBEING

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JAN 2019 Job No. : Drawing Scale AS SHOWN Drawn SS/WW 1912 / DA03

S C A L E : 1: 200 @ A1 S C A L E : 1: 400 @ A3



BASIX and Thermal Comfort Inclusions SummitCare Randwick (11-19 Frenchmans Road, Randwick)

Floors Concrete between levels, no insulation required Walls External walls:
Lightweight Cladding with R2.0 insulation (insulation only value)

External colour:

Medium (0.475<SA<0.7)

Inter-tenancy walls: Minimum 75mm Hebel Power Panel to walls adjacent to neighbours and hallways, no insulation required Internal walls (within units):

Plasterboard on studs Windows Glazed windows ILU 1:

U-value: 6.70 (equal to or lower than) SHGC: 0.70 (±10%)

Glazed windows ILU 2: U-value: 4.80 (equal to or lower than) SHGC: 0.59 (±10%)

Given values are AFRC total window system values (glass and frame) Roof & Ceilings Metal roof with foil backed blanket (Ru1.3 and Rd1.3) Plasterboard ceiling with R3.0 insulation (insulation only value) to where roof is above

External colour: Dark (SA > 0.7)

Note: Loss of ceiling insulation due to penetrations from down lights have been accounted for in accordance with BCA Technical Note 2 and Sealed LED down lights at a maximum of one every 2.5m2 Floor coverings Tiles throughout

Hot water system Central gas-fired boiler with R1.0 (~38mm) insulation to ring main and supply risers Fixtures Showerheads: 4.0 star medium flow (>6.0L but <=7.5L/min)

0m 2 5 SCALE: 1: 200 @ A1 SCALE: 1: 400 @ A3

ROOF OUTLINE **NEW FENCE** + ex.RL.00.00 EXISTING LEVELS RL.00.00 PROPOSED LEVELS PROPOSED DOOR PROPOSED WINDOW MOBILE BATH **CEILING FAN** EXISTING TREES TO REMAIN

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-- OUTLINE OF WALL ABOVE / BELOW

LEGEND

----- BOUNDARY

MASONRY WALL

STUD WALL



J1.6b Floor construction

NEW TREES



EXISTING TREES TO BE

NCC 2019 - SECTION J REQUIREMENTS **Envelope Construction Total System R-Value** (m^2K/W) J1.3 Roof and ceiling construction ≥ 3.70 N/A J1.4 Roof lights J1.5a Total System external wall ≥ 2.39 construction (all facades) J1.5b Total System internal wall ≥ 1.00 construction (between conditioned & unconditioned areas) J1.6a Floor construction ≥ 2.00 (above an unconditioned zone)

(concrete slab on ground)							
Glazing - Frame Construction (Uniform solution)	Orientation		al System SHGC	Total System SHGC			
J1.5c Total Window Frame construction	All facades		≤ 4.00	≤ 0.29			

No insulation required



В	Development Application Re-Issue	01.06.2021
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Project SUMMIT CARE 11-19 Frenchmans Road, Randwick

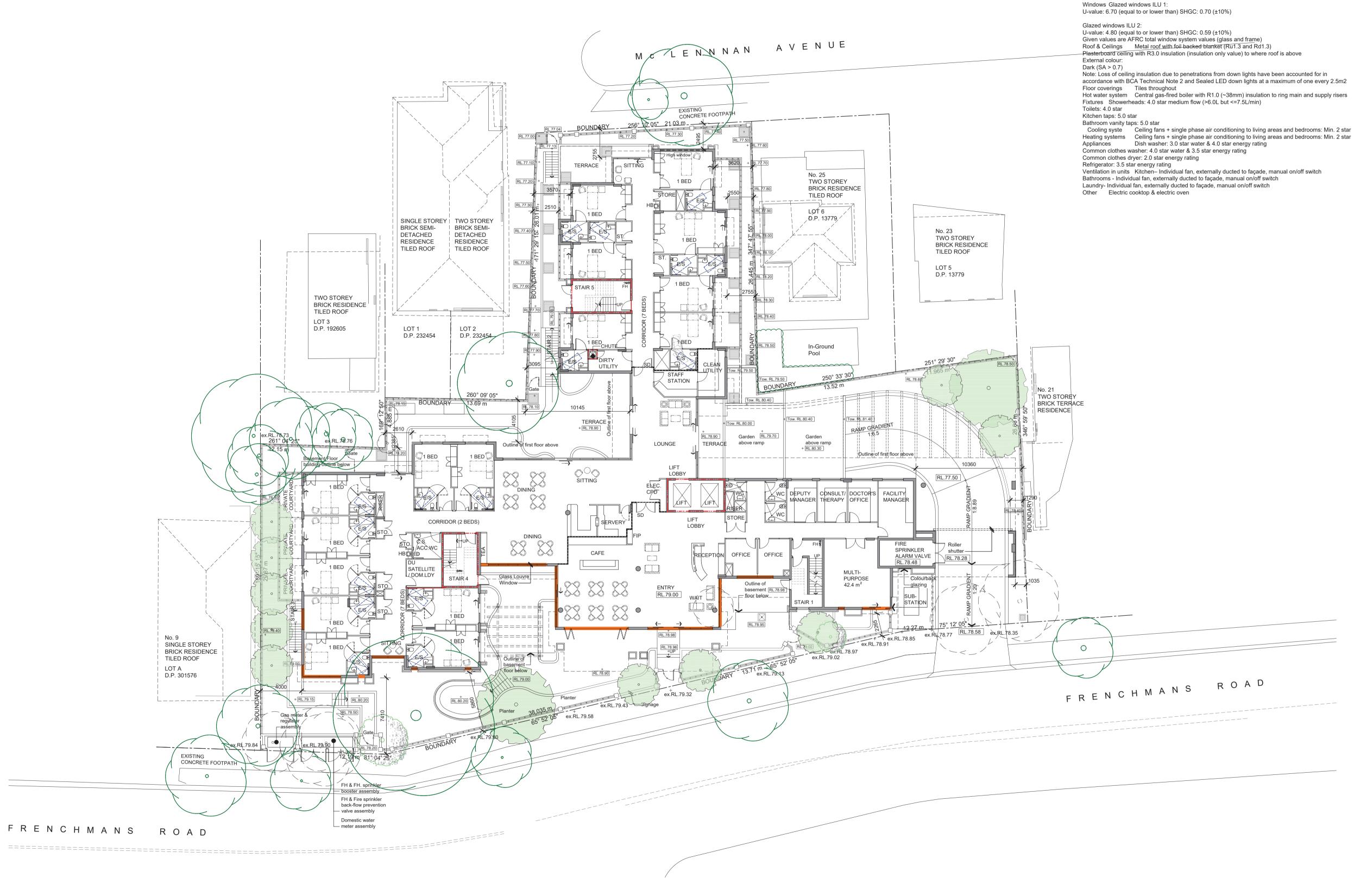
BASEMENT FLOOR PLAN



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JAN 2019 Job No. Scale AS SHOWN Drawn SS/WW 2017 / DA04



BASIX and Thermal Comfort Inclusions
SummitCare Randwick (11-19 Frenchmans Road, Randwick)

0m 2 5 SCALE: 1: 200 @ A1 SCALE: 1: 400 @ A3

Floors Concrete between levels, no insulation required

Walls External walls:
Lightweight Cladding with R2.0 insulation (insulation only value)

External colour: Medium (0.475<SA<0.7)

Inter-tenancy walls:
Minimum 75mm Hebel Power Panel to walls adjacent to neighbours and hallways, no insulation required Internal walls (within units):

Plasterboard on studs
Windows Glazed windows

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LEGEND ----- BOUNDARY MASONRY WALL STUD WALL ----- OUTLINE OF WALL ABOVE / BELOW ROOF OUTLINE NEW FENCE + ex.RL.00.00 EXISTING LEVELS RL.00.00 PROPOSED LEVELS PROPOSED DOOR PROPOSED WINDOW MOBILE BATH **CEILING FAN** EXISTING TREES TO REMAIN EXISTING TREES TO BE **NEW TREES**

ACOUSTIC REQUIREMENTS

Rw 36 10.38mm laminated OR Rw 36 6/12/8 glass
Rw 31 10mm monolithic OR Rw 34 6/12/6 glass
Rw 27 6mm monolithic OR Rw 34 6/12/6 glass

NCC 2019 - SECTION J REQUIREMENTS Envelope Construction Total System R-Value (m²K/W)

	(III-K/VV)
J1.3 Roof and ceiling construction	≥ 3.70
J1.4 Roof lights	N/A
J1.5a Total System external wall construction (all facades)	≥ 2.39
J1.5b Total System internal wall construction (between conditioned & unconditioned areas)	≥ 1.00
J1.6a Floor construction (above an unconditioned zone)	≥ 2.00
J1.6b Floor construction (concrete slab on ground)	No insulation required

(concrete slab on gr	ound)				
Glazing - Frame Construction (Uniform solution)	Orientation	Total System SHGC	Total System SHGC		
J1.5c Total Window Frame construction	All facades	≤ 4.00	≤ 0.29		



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Project
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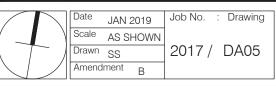
11-19 Frenchmans Road, Randwick

Drawing GROUND FLOOR PLAN



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BASIX and Thermal Comfort Inclusions SummitCare Randwick (11-19 Frenchmans Road, Randwick)

Floors Concrete between levels, no insulation required

Walls External walls:
Lightweight Cladding with R2.0 insulation (insulation only value)

External colour:

Medium (0.475<SA<0.7) Inter-tenancy walls:

Minimum 75mm Hebel Power Panel to walls adjacent to neighbours and hallways, no insulation required Internal walls (within units):

ACOUSTIC REQUIREMENTS

NEW TREES

Rw 36 10.38mm laminated OR Rw 36 6/12/8 glass Rw 31 10mm monolithic OR Rw 34 6/12/6 glass Rw 27 6mm monolithic OR Rw 34 6/12/6 glass

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LEGEND

----- BOUNDARY

STUD WALL

MASONRY WALL

----- OUTLINE OF WALL ABOVE / BELOW

PROPOSED DOOR

ROOF OUTLINE

NEW FENCE

+ ex.RL.00.00 EXISTING LEVELS

RL.00.00 PROPOSED LEVELS

PROPOSED WINDOW

MOBILE BATH

CEILING FAN

EXISTING TREES TO REMAIN

EXISTING TREES TO BE

NCC 2019 - SECTION J REQUIREMENTS **Envelope Construction Total System R-Value** (m²K/W)

J1.3 Roof and ceiling construction ≥ 3.70 N/A J1.4 Roof lights J1.5a Total System external wall ≥ 2.39 construction (all facades) J1.5b Total System internal wall ≥ 1.00 construction (between conditioned & unconditioned areas) J1.6a Floor construction ≥ 2.00 (above an unconditioned zone) J1.6b Floor construction No insulation required

(concrete slab on ground) Glazing - Frame Orientation Total System Total System Construction (Uniform solution) J1.5c Total Window All facades ≤ 4.00 Frame construction

0005175370 07 Jul 2021 Assessor Tracey Cools Accreditation No. HERA10033 Address 11-19 Frenchmans Road , Randwick , NSW , 2031 hstar.com.au

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Project SUMMIT CARE

11-19 Frenchmans Road, Randwick

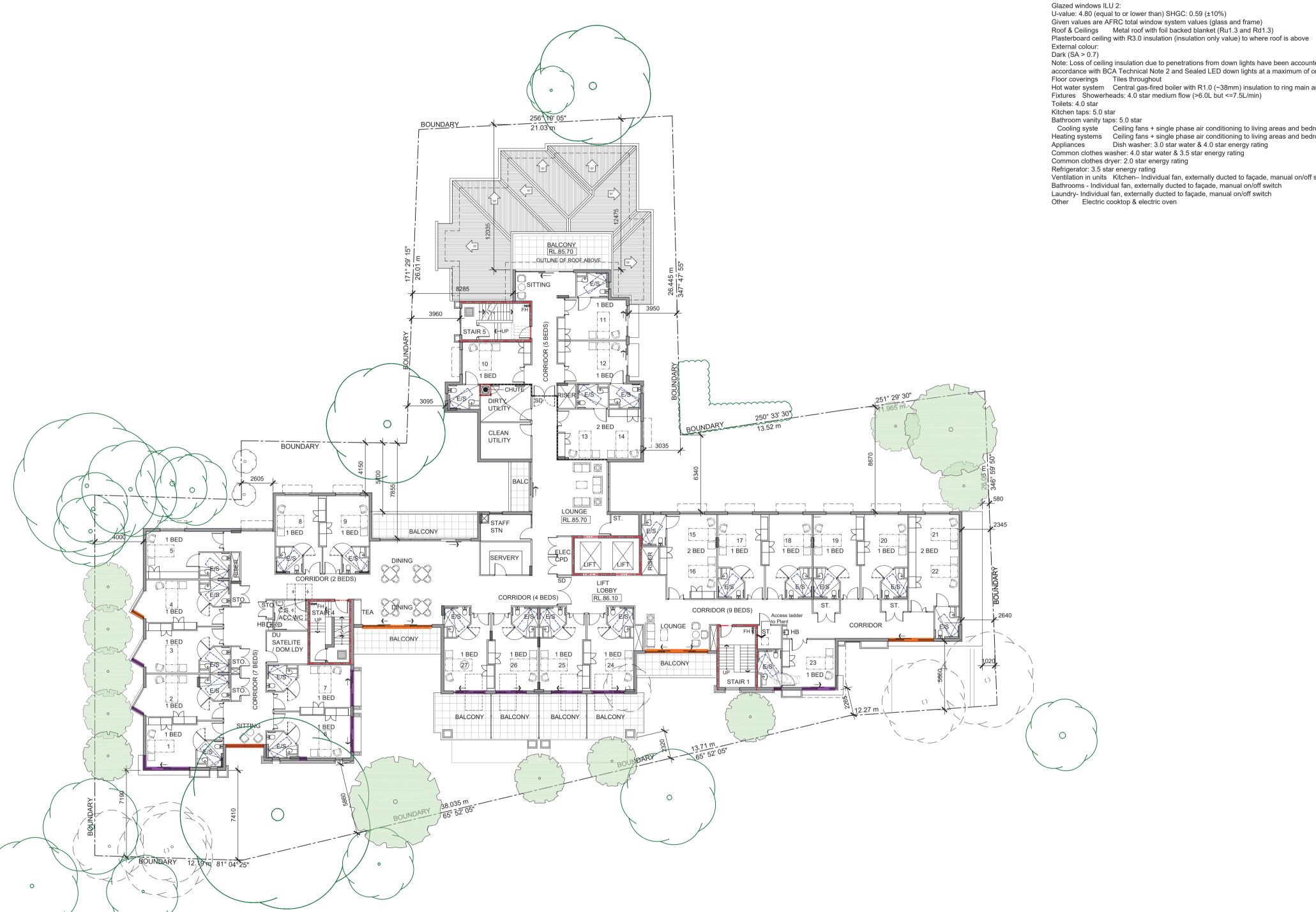
Drawing FIRST FLOOR PLAN

> SUMMITCARE WARMTH WORTH WELLBEING

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Date JAN 2019 Job No.
Scale AS SHOWN



BASIX and Thermal Comfort Inclusions SummitCare Randwick (11-19 Frenchmans Road, Randwick)

Floors Concrete between levels, no insulation required
Walls External walls:
Lightweight Cladding with R2.0 insulation (insulation only value)

External colour:

Medium (0.475<SA<0.7)

Inter-tenancy walls:
Minimum 75mm Hebel Power Panel to walls adjacent to neighbours and hallways, no insulation required Internal walls (within units):

Plasterboard on studs

Windows Glazed windows ILU 1: U-value: 6.70 (equal to or lower than) SHGC: 0.70 (±10%)

U-value: 4.80 (equal to or lower than) SHGC: 0.59 (±10%)

Note: Loss of ceiling insulation due to penetrations from down lights have been accounted for in accordance with BCA Technical Note 2 and Sealed LED down lights at a maximum of one every 2.5m2

Floor coverings

Tiles throughout

Hot water system

Central gas-fired boiler with R1.0 (~38mm) insulation to ring main and supply risers Fixtures Showerheads: 4.0 star medium flow (>6.0L but <=7.5L/min)

Cooling syste Ceiling fans + single phase air conditioning to living areas and bedrooms: Min. 2 star Heating systems Ceiling fans + single phase air conditioning to living areas and bedrooms: Min. 2 star Appliances Dish washer: 3.0 star water & 4.0 star energy rating

Refrigerator: 3.5 star energy rating

Ventilation in units Kitchen- Individual fan, externally ducted to façade, manual on/off switch Bathrooms - Individual fan, externally ducted to façade, manual on/off switch

Laundry- Individual fan, externally ducted to façade, manual on/off switch
Other Electric cooktop & electric oven

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LEGEND ----- BOUNDARY MASONRY WALL STUD WALL ----- OUTLINE OF WALL ABOVE / BELOW ROOF OUTLINE NEW FENCE + ex.RL.00.00 EXISTING LEVELS RL.00.00 PROPOSED LEVELS PROPOSED DOOR PROPOSED WINDOW MOBILE BATH **CEILING FAN** EXISTING TREES TO REMAIN EXISTING TREES TO BE **NEW TREES**

ACOUSTIC REQUIREMENTS



NCC 2019 - SECTION J REQUIREMENTS **Envelope Construction** Total System R-Value (m²K/W)

J1.3 Roo	of and ceiling construction	≥ 3.70
J1.4 Roo	of lights	N/A
	al System external wall n (all facades)	≥ 2.39
	al System internal wall on (between conditioned & ned areas)	≥ 1.00
0 11001 1 10	or construction unconditioned zone)	≥ 2.00
	or construction	No insulation required

Glazing - Frame Construction (Uniform solution)	Orientation	Total System SHGC	Total System SHGC
J1.5c Total Window Frame construction	All facades	≤ 4.00	≤ 0.29



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Project SUMMIT CARE

11-19 Frenchmans Road, Randwick

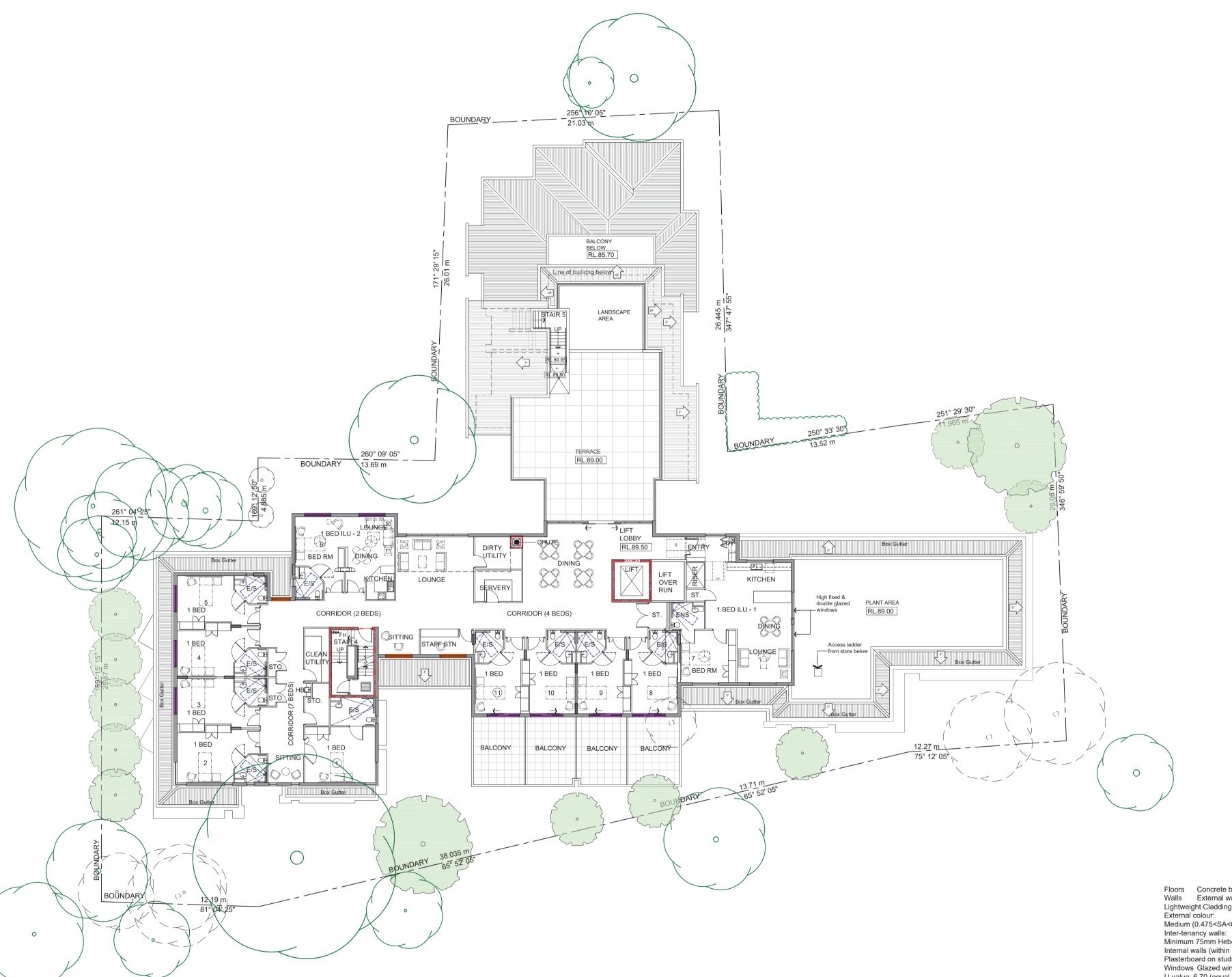
Drawing SECOND FLOOR PLAN



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BASIX and Th	ermal Comfort Inclusions	LEGEN	D				
loors	Concrete between levels, no insulation required		– во	UNDARY			
/alla	•		■ MA	SONRY WALL	-		
/alls	External walls: Brick Veneer with R2.0 insulation		= sti	JD WALL			
	(insulation only value) External colour:		OU	TLINE OF WA	LL AE	BOVE / BE	LOW
	Medium (0.475 <sa<0.7) inter-tenancy="" td="" walls:<=""><td></td><td> RO</td><td>OF OUTLINE</td><td></td><td></td><td></td></sa<0.7)>		RO	OF OUTLINE			
	Minimum 75mm Hebel Power Panel to walls adjacent to neighbours and		- NE	W FENCE			
	hallways, no insulation required.	+ ex.RL.00.00	EXI	STING LEVEL	.S		
	Internal walls (within units): Plasterboard on studs	RL.00.00	PR	OPOSED LEVI	ELS		
/indows	Aluminium framed double glazing: U-value: 3.40 (equal to or lower than) SHGC: 0.33 (±10%) Given values are AFRC total window	Ĥ		OPOSED DOC	DR		
	system values (glass and frame) Note: Openability modelled as per BASIX		∃ PR	OPOSED WIN	DOW		
	Thermal Protocol – 4.14.2 and NatHERS Technical Note 1.2 – 10.11 with regards to restricted openings		МО	BILE BATH			
eilings	Plasterboard ceiling with R3.0 insulation (insulation only value) to where roof is above. Plasterboard ceiling, no insulation where neighbouring units are above.		CE	ILING FAN			
	Note: Loss of ceiling insulation due to penetrations from down lights have been accounted for in accordance with BCA Technical Note 2 and Sealed LED down lights at a maximum of one every 2.5m2		EXI	STING TREES	S TO	REMAIN	
oof	Metal roof with foil backed blanket (Ru1.3 and Rd1.3) External colour: Dark (SA > 0.7)		V	STING TREES MOVED	S ТО І	BE	
loor coverings	Tiles to throughout	2 m	\				
ot water system	Central gas-fired boiler with R1.0 (~38mm) insulation to ring main and supply risers) NE	W TREES			
ixtures	Showerheads: 4.0 star low flow	ACOUST	ΓIC R	EQUIREN	ИEN	ITS	
	(>4.5L but <=6.0L/min) Toilets: 4.0 star		Rw 36	3 10.38mm lam	inate	d OR Rw 3	36 6/12/8 glas
	Kitchen taps: 5.0 star Bathroom vanity taps: 5.0 star		Rw 31	I 10mm monoli	ithic C	OR Rw 34	6/12/6 glass
			Rw 27	7 6mm monolith	nic Of	R Rw 34 6	/12/6 glass
ooling systems	Ceiling fans + single phase air conditioning to living areas and	NCC 20	10 0	SECTION	LD	EOLUB	ENZENITO
eating systems	bedrooms: Min. 3 star Ceiling fans + single phase air				JA	-	
eating systems	conditioning to living areas and bedrooms: Min. 3 star	Envelope Co	onstruc	tion		(m ² K/W)	stem R-Value
ppliances	Dish washer: 3.0 star water & 4.0 star	J1.3 Roof	and ceil	ing constructio	n	≥	3.70
ррпипсез	energy rating	J1.4 Roof	oof lights N/A		N/A		
	Clothes washer: 3.0 star water & 4.0 star energy rating Clothes dryer: 6.0 star energy rating		J1.5a Total System external wall ≥ 2.39 construction (all facades)		2.39		
entilation in units	Refrigerator: 3.5 star energy rating Kitchen - Individual fan, externally ducted		(between	i internal wall en conditioned s)	&	≥	1.00
	to façade, manual on/off switch Bathrooms - Individual fan, externally ducted to façade, manual on/off switch		J1.6a Floor construction ≥ 2.00 (above an unconditioned zone)		2.00		
	Laundry - Individual fan, externally ducted to façade, manual on/off switch	J1.6b Floor (concrete sla				No insula	ation required
other	Electric cooktop & electric oven Well-ventilated fridge space Air conditioning day-night zoned between bedrooms and living areas	Glazing - Fra Construction (Uniform sol	า	Orientation		I System SHGC	Total System SHGC
		J1.5c Total V Frame constr		All facades	:	≤ 4.00	≤ 0.29

BASIX and Thermal Comfort Inclusions SummitCare Randwick (11-19 Frenchmans Road, Randwick)

Floors Concrete between levels, no insulation required Walls External walls:

Lightweight Cladding with R2.0 insulation (insulation only value)
External colour:
Medium (0.475<SA<0.7)

Minimum 75mm Hebel Power Panel to walls adjacent to neighbours and hallways, no insulation required Internal walls (within units):

Plasterboard on studs
Windows Glazed windows ILU 1:

U-value: 6.70 (equal to or lower than) SHGC: 0.70 (±10%)

Glazed windows ILU 2: U-value: 4.80 (equal to or lower than) SHGC: 0.59 (±10%) Given values are AFRC total window system values (glass and frame) Roof & Ceilings Metal roof with foil backed blanket (Ru1.3 and Rd1.3) Plasterboard ceiling with R3.0 insulation (insulation only value) to where roof is above

External colour:

Dark (SA > 0.7) Note: Loss of ceiling insulation due to penetrations from down lights have been accounted for in accordance with BCA Technical Note 2 and Sealed LED down lights at a maximum of one every 2.5m2

Floor coverings Tiles throughout
Hot water system Central gas-fired boiler with R1.0 (~38mm) insulation to ring main and supply risers
Fixtures Showerheads: 4.0 star medium flow (>6.0L but <=7.5L/min) Toilets: 4.0 star

Kitchen taps: 5.0 star

Bathroom vanity taps: 5.0 star

Cooling syste Ceiling fans + single phase air conditioning to living areas and bedrooms: Min. 2 star
Heating systems Ceiling fans + single phase air conditioning to living areas and bedrooms: Min. 2 star
Appliances Dish washer: 3.0 star water & 4.0 star energy rating
Common clothes washer: 4.0 star water & 3.5 star energy rating

Common clothes dryer: 2.0 star energy rating
Refrigerator: 3.5 star energy rating
Ventilation in units Kitchen– Individual fan, externally ducted to façade, manual on/off switch
Bathrooms - Individual fan, externally ducted to façade, manual on/off switch Laundry- Individual fan, externally ducted to façade, manual on/off switch Other Electric cooktop & electric oven

\perp		1		
0m	2	5	10	15n
SCA	ALE: 1:	200 @ A1		
SCA	ALE: 1:	400 @ A3		



В	Development Application Re-Issue	01.06.2021
Α	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

SUMMIT CARE 11-19 Frenchmans Road, Randwick

Drawing

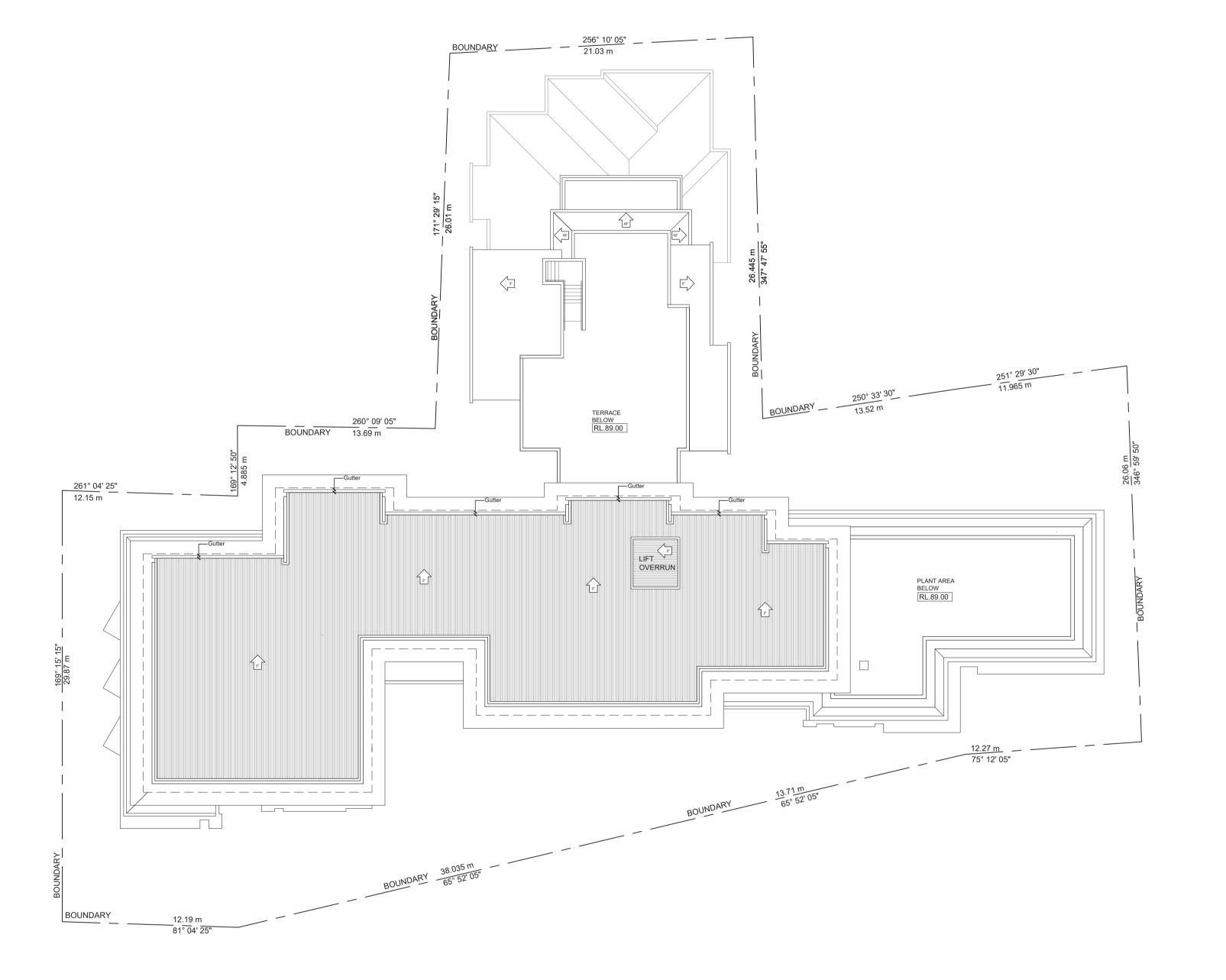
THIRD FLOOR PLAN

SUMMITCARE WARMTH WORTH WELLBEING

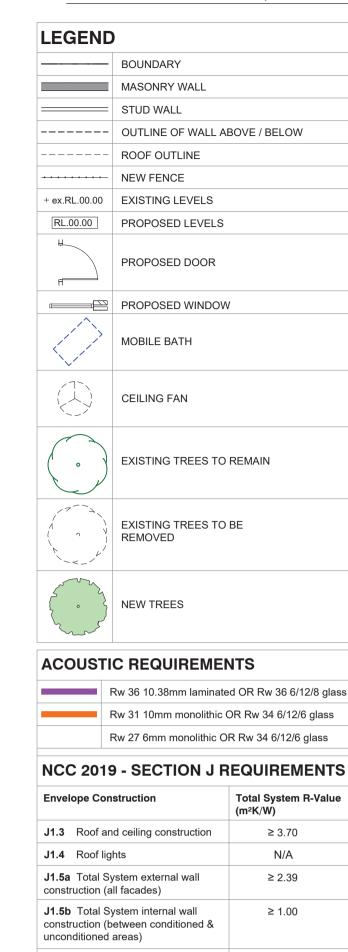
boffa robertson group architecture, health and aged care planning, project management



Date	JAN 2019	Job No.	: Drawing
Scale	AS SHOWN		
Drawn	SS / WW	2017 /	DA08
Amend	^{dment} B		



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J1.6a Floor construction

(concrete slab on ground)

Construction

(Uniform solution)

Frame construction

(above an unconditioned zone) J1.6b Floor construction

J1.5c Total Window All facades

Glazing - Frame Orientation Total System Total System

≤ 4.00

BASIX and Thermal Comfort Inclusions SummitCare Randwick (11-19 Frenchmans Road, Randwick)

Floors Concrete between levels, no insulation required

Walls External walls: Lightweight Cladding with R2.0 insulation (insulation only value)
External colour:

Medium (0.475<SA<0.7)

Inter-tenancy walls: Minimum 75mm Hebel Power Panel to walls adjacent to neighbours and hallways, no insulation required Internal walls (within units):

Plasterboard on studs Windows Glazed windows ILU 1:

U-value: 6.70 (equal to or lower than) SHGC: 0.70 (±10%)

Glazed windows ILU 2: U-value: 4.80 (equal to or lower than) SHGC: 0.59 (±10%) Given values are AFRC total window system values (glass and frame)

Roof & Ceilings Metal roof with foil backed blanket (Ru1.3 and Rd1.3) Plasterboard ceiling with R3.0 insulation (insulation only value) to where roof is above

External colour:

Dark (SA > 0.7) Note: Loss of ceiling insulation due to penetrations from down lights have been accounted for in accordance with BCA Technical Note 2 and Sealed LED down lights at a maximum of one every 2.5m2 Floor coverings Tiles throughout
Hot water system Central gas-fired boiler with R1.0 (~38mm) insulation to ring main and supply risers
Fixtures Showerheads: 4.0 star medium flow (>6.0L but <=7.5L/min)

Toilets: 4.0 star

Kitchen taps: 5.0 star

Bathroom vanity taps: 5.0 star Cooling syste

Heating systems

Appliances

Ceiling fans + single phase air conditioning to living areas and bedrooms: Min. 2 star

Ceiling fans + single phase air conditioning to living areas and bedrooms: Min. 2 star

Dish washer: 3.0 star water & 4.0 star energy rating

Common clothes washer: 4.0 star water & 3.5 star energy rating Common clothes dryer: 2.0 star energy rating

Refrigerator: 3.5 star energy rating
Ventilation in units Kitchen– Individual fan, externally ducted to façade, manual on/off switch Bathrooms - Individual fan, externally ducted to façade, manual on/off switch Laundry- Individual fan, externally ducted to façade, manual on/off switch Other Electric cooktop & electric oven





≥ 2.00

No insulation required

≤ 0.29

	В	Development Application Re-Issue	01.06.2021
	Α	Development Application Re-Issue	14.05.2021
Ī	No.	Amendment	Date

Project SUMMIT CARE

11-19 Frenchmans Road, Randwick

Drawing

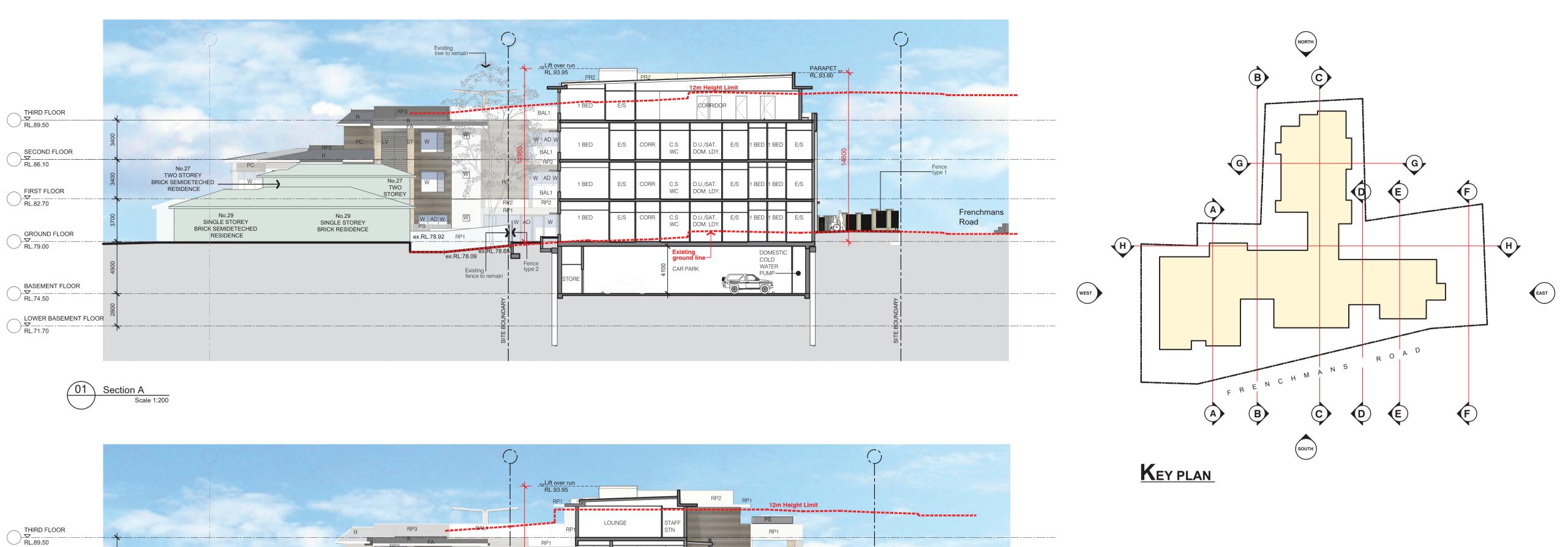
ROOF PLAN



boffa robertson group architecture, health and aged care planning, project management



	Date	JAN 2019	Job No. : Drawing
$\langle \hspace{0.1cm} _ \hspace{0.1cm} \rangle$	Scale	AS SHOWN	
$\langle T \rangle$	Drawn	SS / WW	2017 / DA09
	Amend	^{ment} B	



Frenchmans

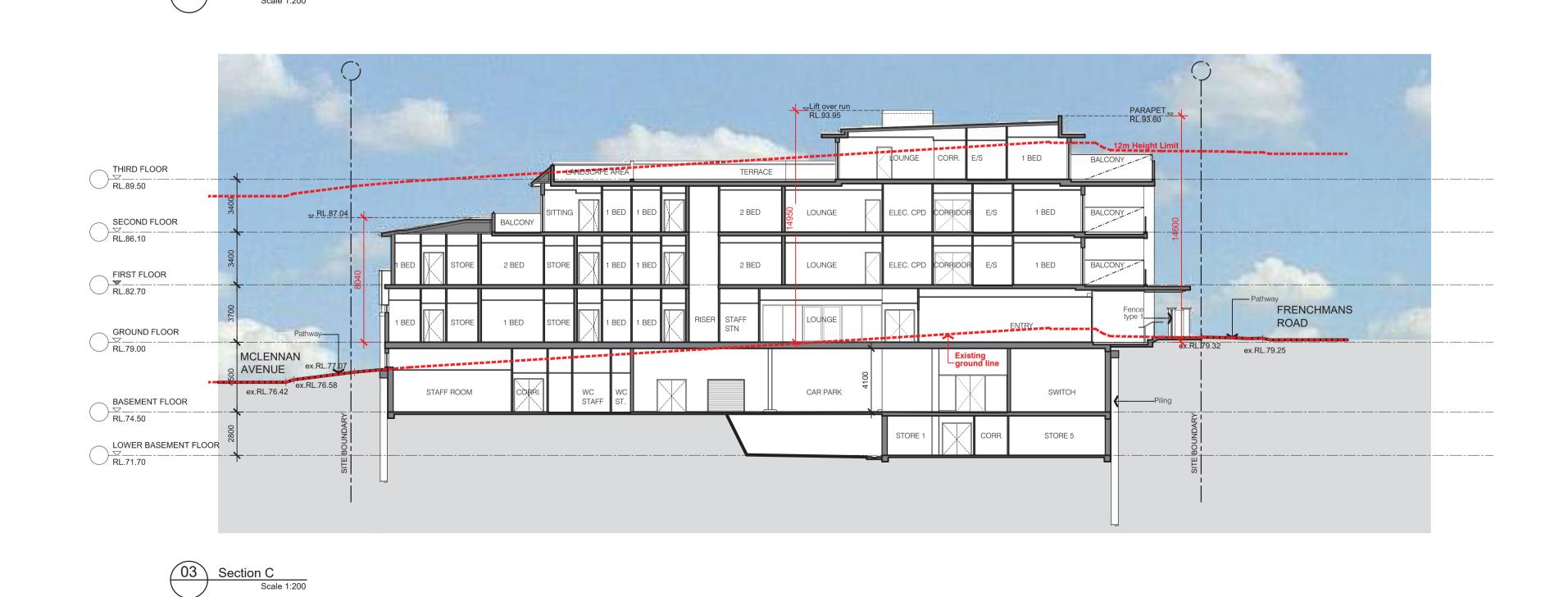
ex.RL.79.68 ex.RL.79.56

AD ALUMINIUM FRAMED DOORS BA1 BALUSTRADE - TYPE 1 (GLASS) BA2 BALUSTRADE - TYPE 2 (DECORATIVE GRILLE) CB COLORBACK GLASS EGL EXISTING GROUND LINE FA FASCIA - COLORBOND SURFMIST OR SIMILAR FGL FINISHED GROUND LINE GLV GLASS LOUVRE LV LOUVRE - POWDER COATED OW OPENABLE WINDOW PC PREFINISHED CLADDING (TIMBER LOOK) PS 1800H PRIVACY SCREEN PT PAINTED DECORATIVE TIMBER ROOF, GUTTER, DP - TYPE 1 (CORRUGATED COLORBOND, COLOR IRONSTONE) RP1 RENDERED PAINTED WALL - COLOUR WHITE RP2 RENDERED PAINTED WALL - COLOUR BEIGE RENDERED PAINTED WALL - COLOUR GREY RS ROLLER SHUTTER RETAINING WALL - STONE CLADDING SS SUN SHADING ST STONE CLADING W ALUMINIUM FRAMED WINDOWS **FENCE TYPES** 1800H POWDER COATED STEEL BLADE SECURITY FENCE ON MASONRY WALL RENDERED AND PAINTED WITH 400 X400 X1950H MASONRY COLUMN POST RENDERED AND PAINTED FINISH F2 1800H COLORBOND STEEL FENCING ON MASONRY WALL RENDERED AND PAINTED + EXISTING FENCE NOTE:

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LEGEND

ALL ENSUITE & SITTING ROOMS' WINDOWS TO BE OPENABLE WITH FLYSCREEN



W AD W

BAL1

W AD W

Line of Lower

Basement beyond

SECOND FLOOR
RL.86.10

FIRST FLOOR
RL.82.70

GROUND FLOOR
RL.79.00

BASEMENT FLOOR
RL.74.50

LOWER BASEMENT FLOOR
RL.71.70

02 Section B

McLenan Ave



В	Development Application Re-Issue	01.06.2021
А	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

Project FRENCHMANS LODGE

11-15, 17 & 19 Frenchmans Road, RANDWICK

Drawing SECTIONS (A, B & C)

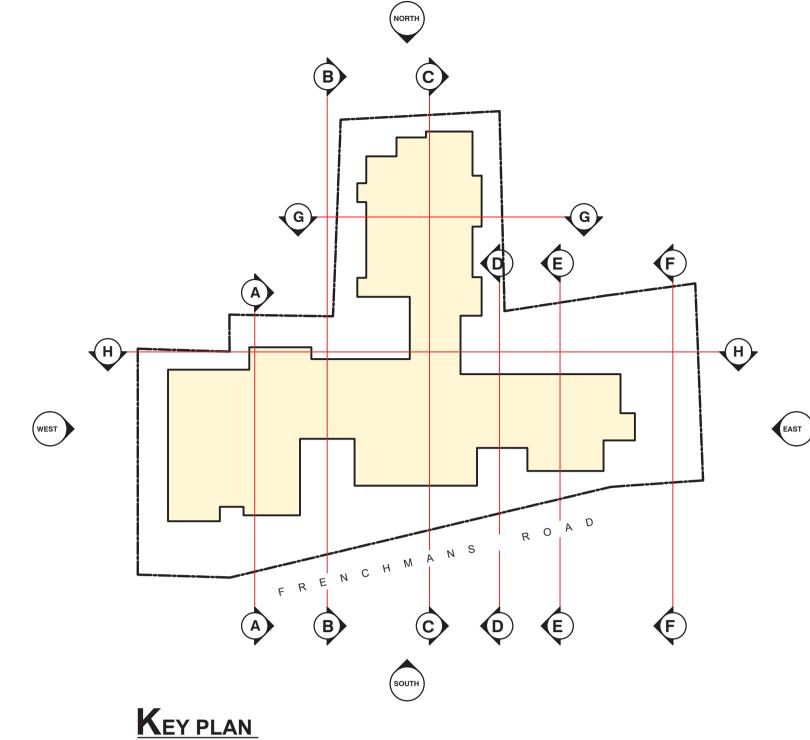
SUMMITCARE

boffa robertson group architecture, health and aged care planning, project management Suite 7, Level 1 Epica, 9 Railway Street Chatswood NSW 2067
AUSTRALIA
Tel. (02) 9406 7000
Fax. (02) 9406 7099
Email : brgroup@brgr.net

Date JAN 2019 Job No. Scale AS SHOWN
Drawn WW/SS
Amendment B 1912 / DA10

0m 2 5 SCALE: 1: 200 @ A1 SCALE: 1: 400 @ A3







FENCING ON MASONRY WALL

ALL ENSUITE & SITTING ROOMS' WINDOWS TO BE OPENABLE WITH FLYSCREEN

NOTE:

RENDERED AND PAINTED + EXISTING FENCE



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Α	Development Application Re-Issue	14.05.2021
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FRENCHMANS LODGE 11-15, 17 & 19 Frenchmans Road, RANDWICK

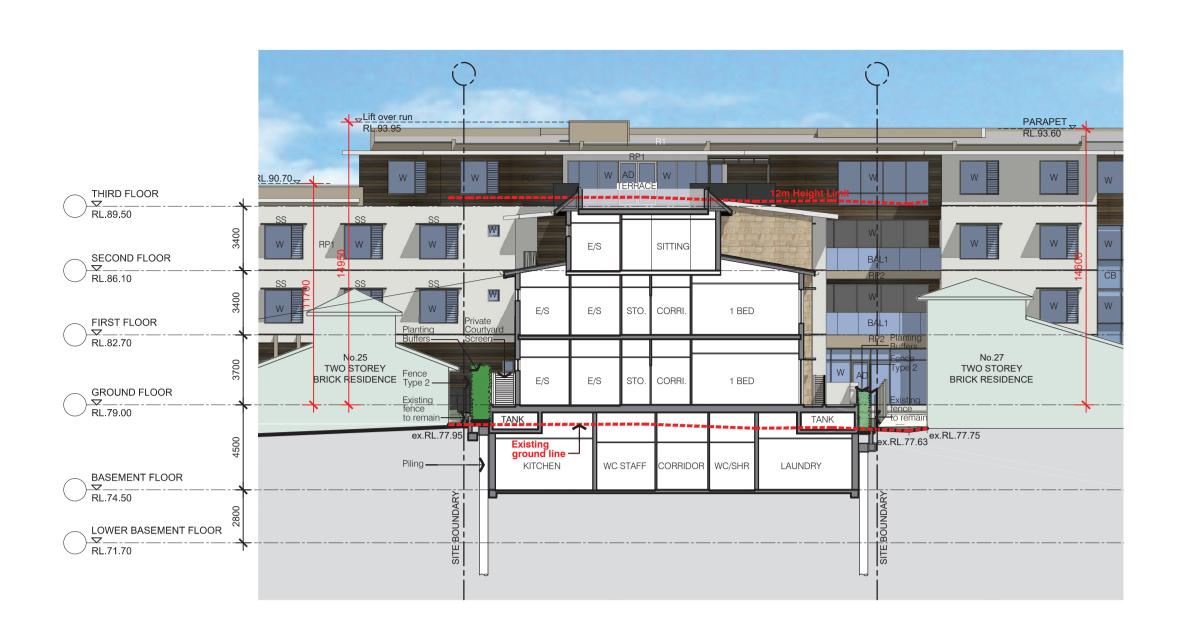
Drawing SECTIONS (D, E, & F)

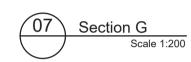
0m 2 5 SCALE: 1: 200 @ A1 SCALE: 1: 400 @ A3 SUMMITCARE
WARMTH WORTH WELLBEING

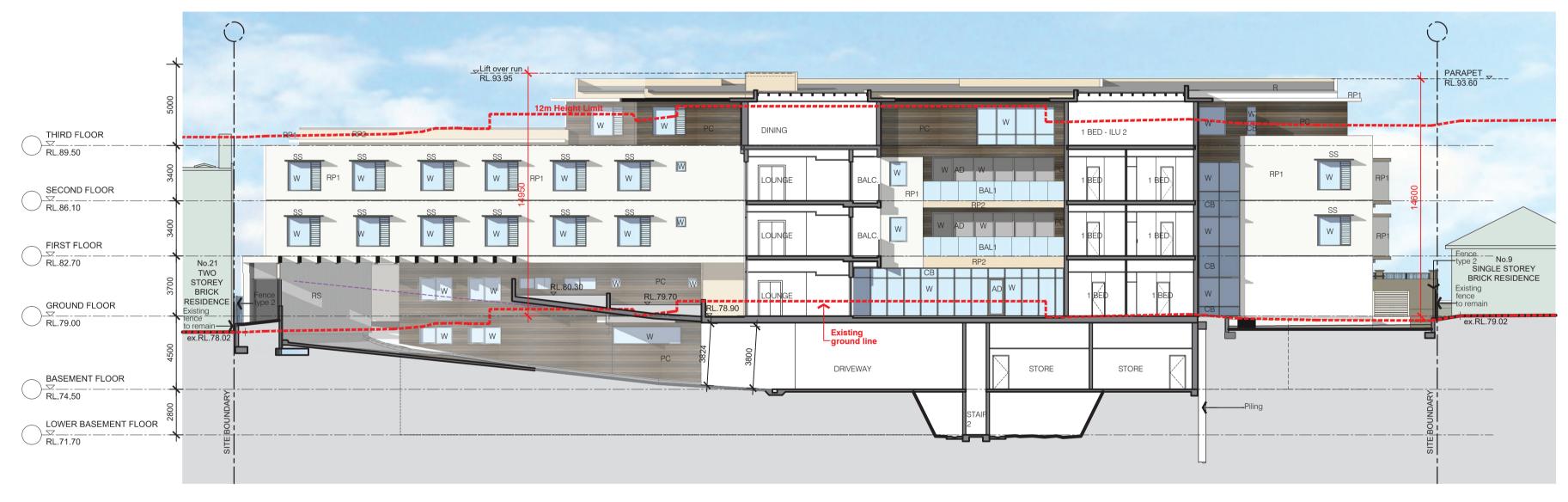
architecture, health and aged care planning, project management

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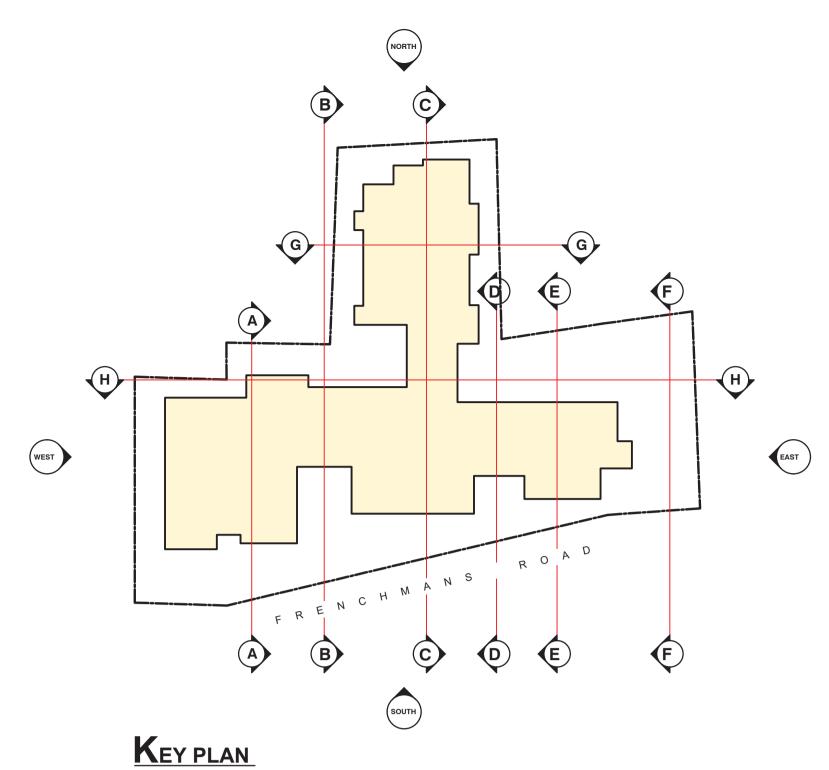
Date JAN 2019 Job No. : Drawing Scale AS SHOWN Drawn WW Amendment B











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LEGE	END
AD	ALUMINIUM FRAMED DOORS
BA1	BALUSTRADE - TYPE 1 (GLASS)
BA2	BALUSTRADE - TYPE 2 (DECORATIVE GRILLE)
СВ	COLORBACK GLASS
EGL	EXISTING GROUND LINE
FA	FASCIA - COLORBOND SURFMIST OR SIMILAR
FGL	FINISHED GROUND LINE
GLV	GLASS LOUVRE
LV	LOUVRE - POWDER COATED
OW	OPENABLE WINDOW
PC	PREFINISHED CLADDING (TIMBER LOOK)
PS	1800H PRIVACY SCREEN
PT	PAINTED DECORATIVE TIMBER
R	ROOF, GUTTER, DP - TYPE 1 (CORRUGATED COLORBOND, COLOR IRONSTONE)
RP1	RENDERED PAINTED WALL - COLOUR WHITE
RP2	RENDERED PAINTED WALL - COLOUR BEIGE
RP3	RENDERED PAINTED WALL - COLOUR GREY
RS	ROLLER SHUTTER
RW	RETAINING WALL - STONE CLADDING
SS	SUN SHADING
ST	STONE CLADING
W	ALUMINIUM FRAMED WINDOWS
FENC	CE TYPES
F1	1800H POWDER COATED STEEL BLADE SECURITY FENCE ON MASONRY WALL RENDERED AND PAINTED WITH 400 X400 X1950H MASONRY COLUMN POST RENDERED AND PAINTED FINISH
F2	1800H COLORBOND STEEL FENCING ON MASONRY WALL RENDERED AND PAINTED + EXISTING FENCE

NOTE:

ALL ENSUITE & SITTING ROOMS' WINDOWS TO BE OPENABLE WITH FLYSCREEN



<u> </u>	B Development Application Re-Issue	
А	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

Project

FRENCHMANS LODGE 11-15, 17 & 19 Frenchmans Road, RANDWICK

Drawing SECTIONS (G & H)

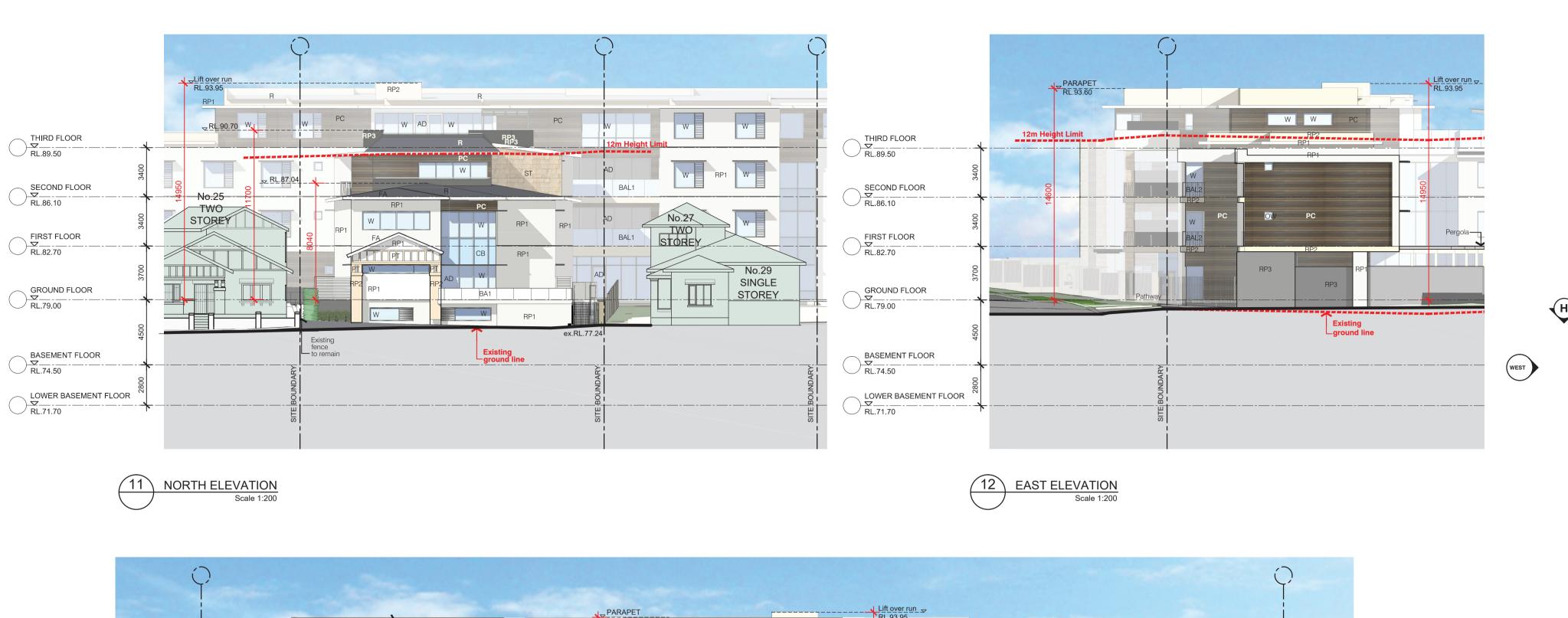


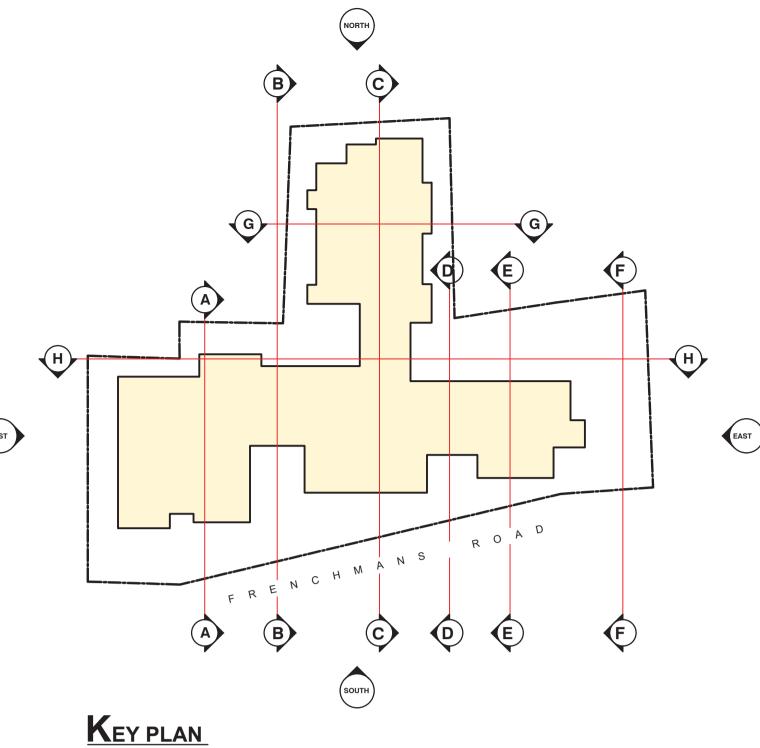
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Date NOV 2019 Job No. : Drawing Scale AS SHOWN Drawn WW Amendment B







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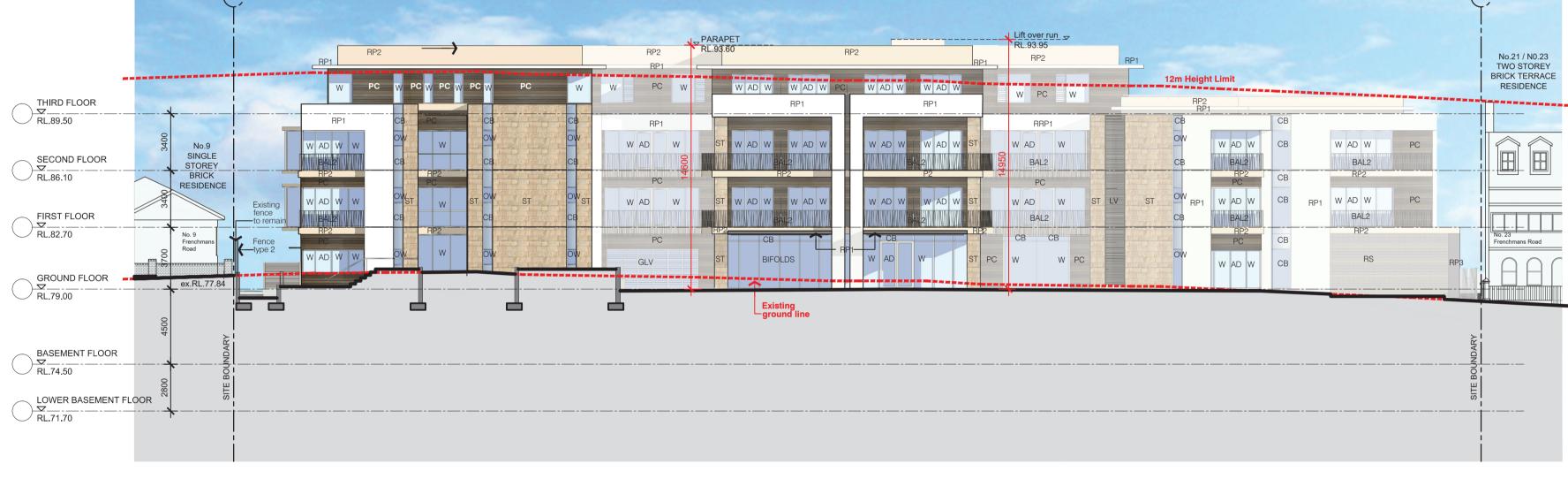
LEGEND		
AD	ALUMINIUM FRAMED DOORS	
BA1	BALUSTRADE - TYPE 1 (GLASS)	
BA2	BALUSTRADE - TYPE 2 (DECORATIVE GRILLE)	
СВ	COLORBACK GLASS	
EGL	EXISTING GROUND LINE	
FA	FASCIA - COLORBOND SURFMIST OR SIMILAR	
FGL	FINISHED GROUND LINE	
GLV	GLASS LOUVRE	
LV	LOUVRE - POWDER COATED	
OW	OPENABLE WINDOW	
PC	PREFINISHED CLADDING (TIMBER LOOK)	
PS	1800H PRIVACY SCREEN	
PT	PAINTED DECORATIVE TIMBER	
R	ROOF, GUTTER, DP - TYPE 1 (CORRUGATED COLORBOND, COLOR IRONSTONE)	
RP1	RENDERED PAINTED WALL - COLOUR WHITE	
RP2	RENDERED PAINTED WALL - COLOUR BEIGE	
RP3	RENDERED PAINTED WALL - COLOUR GREY	
RS	ROLLER SHUTTER	
RW	RETAINING WALL - STONE CLADDING	
SS	SUN SHADING	
ST	STONE CLADING	
W	ALUMINIUM FRAMED WINDOWS	

FENCE TYPES

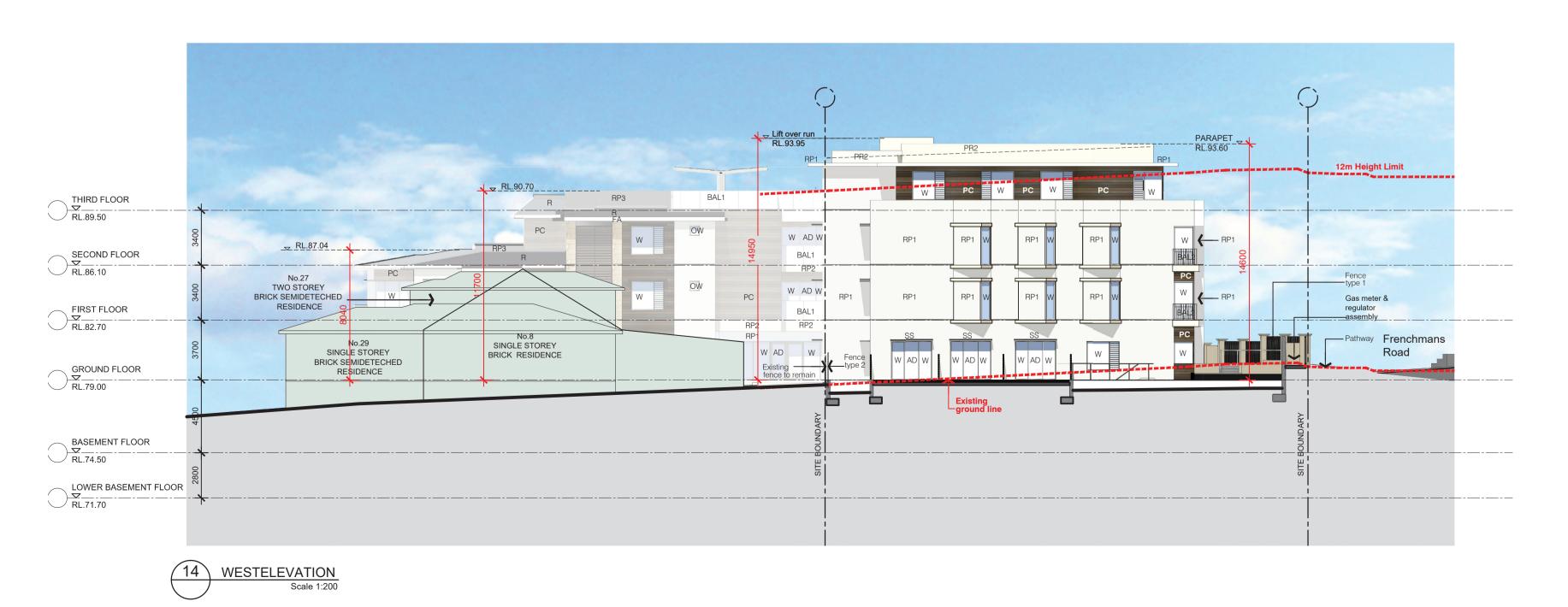
F1	1800H POWDER COATED STEEL BLADE SECURITY FENCE ON MASONRY WALL RENDERED AND PAINTED WITH 400 X400 X1950H MASONRY COLUMN POST RENDERED AND PAINTED FINISH
F2	1800H COLORBOND STEEL FENCING ON MASONRY WALL RENDERED AND PAINTED + EXISTING FENCE

NOTE:

ALL ENSUITE & SITTING ROOMS' WINDOWS TO BE OPENABLE WITH FLYSCREEN









В	Development Application Re-Issue	01.06.2021
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No.	Amendment	Date

Project FRENCHMANS LODGE

11-15, 17 & 19 Frenchmans Road, RANDWICK

Drawing

ELEVATIONS (North, East, South & West)



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		Date	JAN 2019	Job No. : Drawing
/	1	Scale	AS SHOWN	
\	/	Drawn	WW	1912 / DA13
	_/	Amend	lment B	

0m 2 5 10 SCALE: 1: 200 @ A1 SCALE: 1: 400 @ A3



BASEMENT FLOOR
RL.74.50

LOWER BASEMENT FLOOR

RL.71.70

04 NORTH STREET ELEVATION
Scale 1:200

0m 2 5 SCALE: 1: 200 @ A1 SCALE: 1: 400 @ A3 Suite 7, Level 1 Epica, 9 Railway Street
Chatswood NSW 2067
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Date JAN 2019
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Drawn AL
Amendment B

Job No. : Drawing
1912 / DA14

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0005175370 07 Jul 2021

hstar.com.au

Assessor Tracey Cools
Accreditation No. HERA10033

Address
11-19 Frenchmans Road ,
Randwick , NSW , 2031







Opposite side of Frenchmans Road Street Elevation

Existing



В	Development Application Re-Issue	01.06.2021
Α	Development Application Re-Issue	14.05.2021
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Project
FRENCHMANS LODGE
11-15, 17 & 19 Frenchmans Road, RANDWICK







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	Date JULY 2019	Job No. : Drawing
\	Scale NTS @ A1	
/	Drawn VI	2017 / DA15
	Amendment B	



01 McLennan Avenue Street Elevation
Proposed



McLennan Avenue Street Elevation
Existing



View from Chapel Street
Proposed



В	Development Application Re-Issue	01.06.202
Α	Development Application Re-Issue	14.05.202 ⁻
No.	Amendment	Date

Project
FRENCHMANS LODGE
11-15, 17 & 19 Frenchmans Road, RANDWICK

Drawing STREET ELEVATION @
MCLENNAN AVENUE -PHOTOMONTAGE



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Date JULY 2019 Job No. : Drawing Scale NTS @ A1

Drawn VI Amendment B 2017 / DA16

